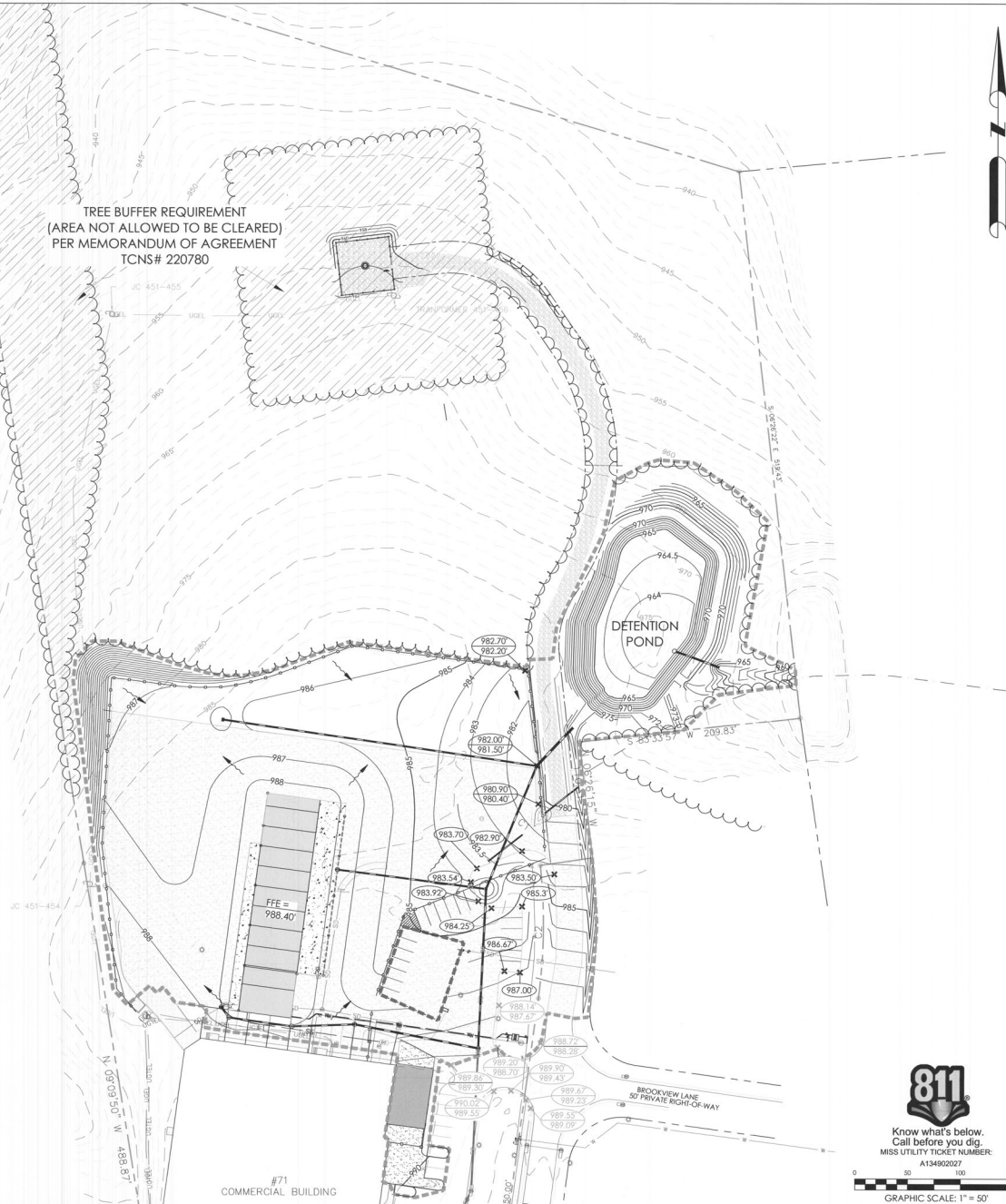


GRADING GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF THE EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUITABLE GRADING MATERIAL SHALL CONSIST OF ALL SOIL ENCOUNTERED ON THE SITE WITH THE EXCEPTION OF TOPSOIL, DEBRIS, ORGANIC MATERIAL, AND OTHER UNSTABLE MATERIAL. STOCKPILE TOPSOIL AND GRANULAR FILL AT LOCATIONS DIRECTED BY THE CONTRACTOR.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF THE EXISTING PAVEMENT.
- CONTRACTOR SHALL CONTACT ACCUPOINT SURVEYING & DESIGN FOR CONSTRUCTION STAKEOUT AND PROJECT CONTROL.
- EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OFF THE CONSTRUCTION SITE.
- COMPLETION OF SITE GRADING OPERATIONS SHALL RESULT IN ALL AREAS BEING GRADED TO "PLAN SUBGRADE ELEVATION". BUILDING PAD AREAS SHALL BE DETERMINED BY REFERRING TO THE ARCHITECTURAL DRAWINGS. THE PARKING LOT AND DRIVEWAY AREAS SHALL BE DETERMINED BY REFERRING TO THE SITE PLAN AND PAVEMENT SECTION DETAILS FOR LOCATION AND LIMITS OF BITUMINOUS PAVEMENT SECTIONS.
- CONTRACTOR IS RESPONSIBLE FOR GRADING AND SLOPING THE FINISHED GROUND SURFACE TO PROVIDE SMOOTH AND UNIFORM SLOPES WHICH PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND PREVENT PONDING IN LOWER AREAS. CONTACT ENGINEER IF FIELD ADJUSTMENTS TO GRADING PLANS ARE REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES WHICH PROVIDE POSITIVE DRAINAGE. CONTACT ENGINEER IF FIELD ADJUSTMENTS ARE REQUIRED.
- NO SITE WORK, LOGGING, GRUBBING OR GRADING IS PERMITTED PRIOR TO ISSUANCE OF A LAND DISTURBING PERMIT.
- THE LIMITS OF CLEARING AND GRADING, AND ALL CRITICAL AREAS SHOULD BE CLEARLY MARKED/FLAGGED IN THE FIELD PRIOR TO THE PRE-CONSTRUCTION CONFERENCE.

TOTAL DISTURBED AREA:	4.76 ACRES
PRE-DEVELOPMENT PERVIOUS AREA:	3.43 ACRES
PRE-DEVELOPMENT IMPERVIOUS AREA:	1.13 ACRES
POST-DEVELOPMENT PERVIOUS AREA:	1.57 ACRES
POST-DEVELOPMENT IMPERVIOUS AREA:	3.19 ACRES
NET CHANGE OF IMPERVIOUS AREA:	+ 2.06 ACRES

TREE BUFFER REQUIREMENT
(AREA NOT ALLOWED TO BE CLEARED)
PER MEMORANDUM OF AGREEMENT
TCNS# 220780



Know what's below.
Call before you dig.
MISS UTILITY TICKET NUMBER:
A134902027



ACCUPOINT
SURVEYING & DESIGN
SURVEYORS & ENGINEERS & SOIL EVALUATORS
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PH: 434-650-4334 WWW.ACCUPOINTSURVEYING.COM

SITE DEVELOPMENT PLAN

FOR
ROCK OUTDOOR
71 PARKCREST DRIVE
FRANKLIN COUNTY, VIRGINIA



REVISION DATE	
PER WYVA COMMENTS: 05/05/2023	
PER COUNTY COMMENTS: 05/17/2023	
PER COUNTY COMMENTS: 11/02/2023	
PER WYVA/CUBENT CONFERENCE: 12/04/2023	
SCALE:	1" = 50'
ASD JOB #:	2022-678
FILE #:	2022-678 SITE
PARCEL ID:	0300000103; 0300000103
DATE:	SEPTEMBER 13, 2023

C-5
GRADING PLAN