

## GENERAL SITE NOTES:

- G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER AND CITY OF ROANOKE PLANNING, BUILDING, AND DEVELOPMENT DEPARTMENT, AND WESTERN VIRGINIA WATER AUTHORITY. G.C. SHALL OBTAIN A RIGHT OF WAY PERMIT FROM THE CITY OF ROANOKE PRIOR TO ANY WORK WITHIN THE CITY OF ROANOKE R.O.W.
- GENERAL CONTRACTOR TO ENSURE THAT POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING IS MAINTAINED THROUGHOUT THE SITE.
- ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
- ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
- G.C. SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF ROANOKE PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
- G.C. TO PROVIDE ALL REQUIRED CONDUIT FOR EXTERIOR LIGHTING, ELECTRICAL, TELEPHONE, AND COMMUNICATIONS AND COORDINATE SERVICES WITH UTILITY PROVIDERS FOR SPECIFIC CONNECTION DETAILS, TIMING, AND SERVICE LOCATIONS.
- G.C. SHALL COORDINATE CONCRETE FINISHING AROUND THE PROPOSED DOOR LOCATIONS WITH THE ARCHITECTURAL PLANS.
- THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF ALL UTILITIES AND MAKE ALL NECESSARY SCHEDULE ARRANGEMENTS FOR TEMPORARY OR PERMANENT UTILITIES PER THE PROJECT SCHEDULE. NECESSARY UTILITIES ON-SITE SUCH AS LIGHTING, ELECTRICAL, ETC.
- ALL ROOFTOP OR GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW PER CITY OF ROANOKE ZONING ORDINANCE. THE PERIMETER OF ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED FROM ANY STREET FRONTAGE OR ADJACENT PROPERTY BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY. THE PERIMETER OF ALL ROOFTOP EQUIPMENT THAT WOULD OTHERWISE BE VISIBLE FROM ANY STREET FRONTAGE SHALL BE SCREENED BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY AT LEAST 1/2 THE VERTICAL HEIGHT OF THE EQUIPMENT FROM THE ADJACENT STREET, TO BE VERIFIED BY SUBMISSION OF A FIELD REVISION TO THE DEVELOPMENT PLAN OR SEPARATE BUILDING PERMIT.

- G.C. SHALL OBTAIN A SEPARATE SIGN PERMIT FOR ALL ON-SITE AND BUILDING SIGNAGE. IF A FLAGPOLE DISPLAY IS PROPOSED, NOTE THAT ONLY FLAGS TO BE DISPLAYED ARE NATIONAL, STATE, OR OTHER GOVERNMENTAL FLAGS AND INSIGNAS.
- THE DUMPSTER OR REFUSE CONTAINER STORAGE AREA MUST MEET ALL REQUIREMENTS SET FORTH IN TABLE 647-1 AND ARTICLE 4. SUPPLEMENTAL REGULATION SECTION OF THE ZONING ORDINANCE. THE HEIGHT OF THE DUMPSTER SCREENING MUST BE AT LEAST 12" ABOVE THE TOP OF THE DUMPSTER AND THE DUMPSTER ENCLOSURE AND GATE DETAILS.
- ALL EXTERIOR LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LIGHTING PLAN AND CUT SHEETS. THE LIGHTING SHALL ALSO BE INSTALLED AND ADDED TO MEET ALL REQUIREMENTS SET FORTH IN SECTION 36.2 DIVISION 2 OUTDOOR LIGHTING.
- NO OUTDOOR STORAGE IS PROPOSED AS PART OF THIS PROJECT AT THIS TIME.
- CONDUIT INSTALLATION AS FOLLOWS:
  - 4" PVC CONDUIT (SCHEDULE 40) FOR PRIMARY POWER TO FUEL CANOPY FROM BUILDING.
  - 2" PVC CONDUIT (SCHEDULE 40) FOR COMMUNICATIONS TO BUILDING FROM SOURCE.
  - 1" PVC CONDUIT (SCHEDULE 40) TO THE MONUMENT SIGNAGE FROM BUILDING.
  - 1" PVC CONDUIT (SCHEDULE 40) FROM THE BUILDING TO THE EMERGENCY SHUTOFF.
 (ALL CONDUIT TO CONTAIN TWO PULL STRINGS EACH)

## UTILITY NOTES:

- G.C. SHALL COORDINATE THE EXACT SANITARY SEWER, WATER, AND STORM SEWER BUILDING TIE-IN LOCATIONS WITH THE ARCHITECTURAL PLANS.
- ALL UTILITY SERVICE LATERALS OR LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND PER SECTION 36.2-610. WATER & SEWER CONNECTIONS SHALL CONFORM TO WVA UTILITY STANDARDS AND INTERNATIONAL BUILDING CODE.
- THE G.C. SHALL COORDINATE TEMPORARY POWER FOR THE PROPOSED BUILDING AS REQ'D.
- SPECIFIC WATER AND SEWER NOTES ARE PROVIDED ON SHEET C10. PLEASE REFERENCE FOR NOTIFICATION AND CONSTRUCTION STANDARDS THAT ARE REQUIREMENTS OF THE PROJECT.

## CONCRETE SLAB CONSTRUCTION NOTES:

- 1/2" TOoled RADIUS SHALL BE PROVIDED ALONG ALL NEW EDGES OF THE CONCRETE SLAB.
- CONSTRUCTION JOINTS SHALL BE PROVIDED WHEN CONTINUOUS POUR OPERATIONS ARE SUSPENDED FOR MORE THAN 30 MINUTES. EXPANSION JOINTS SHALL BE PROVIDED BETWEEN ANY NEW CONSTRUCTION AND THE EXISTING CONCRETE PAVEMENT/ASPHALT SURFACE.
- THE CONCRETE PAD DEPTH VARIES BETWEEN THE CANOPY SLAB AND TANK SLAB.

## EXISTING FIRE HYDRANT FLOW DATA:

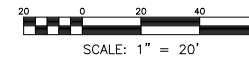
1. 10TH STREET (ADJACENT TO LEVELTON AVENUE INTERSECTION)  
 AUTHORITY ID - 10246  
 40 PSI STATIC  
 25 PSI RESIDUAL  
 980 GPM @ 20 PSI

## FIRE FLOW SUMMARY:

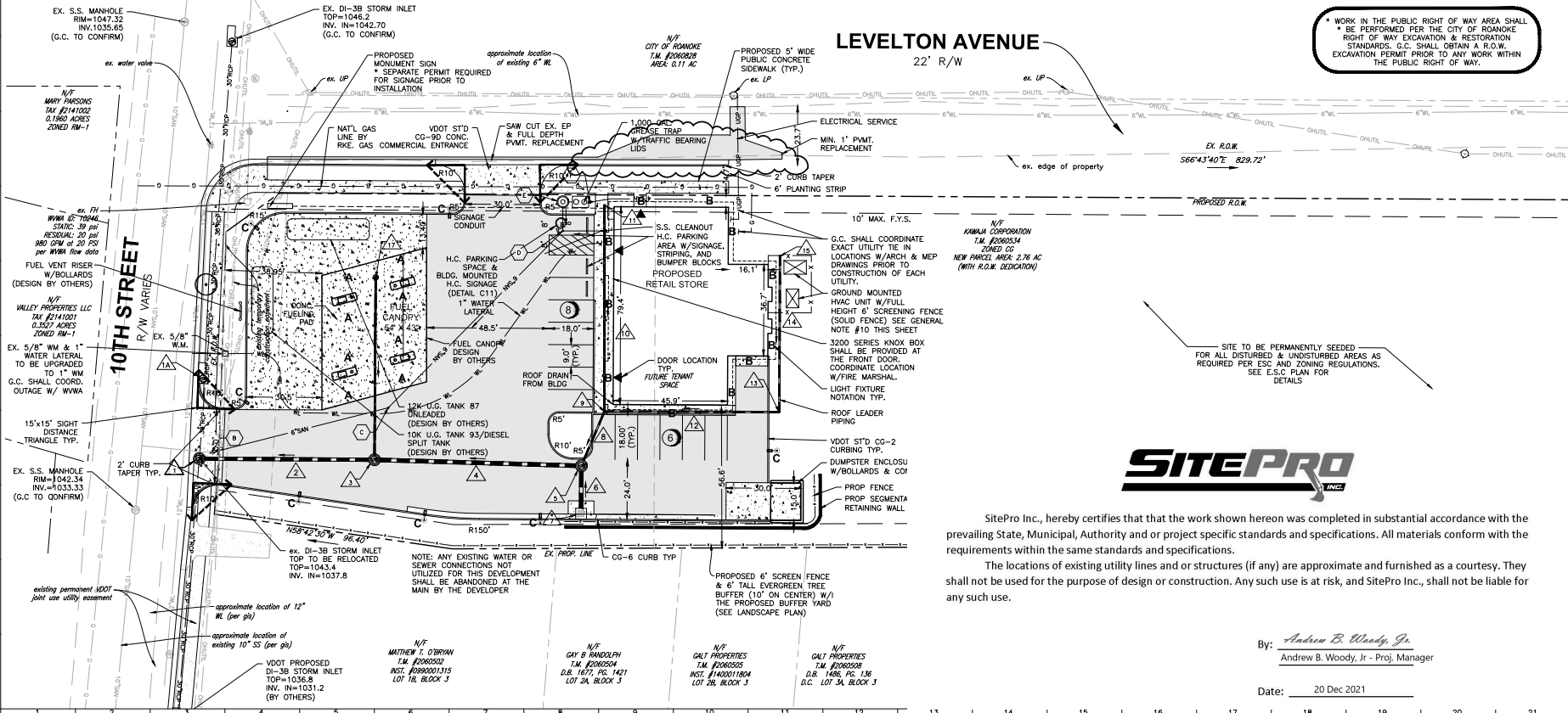
2,500 GPM FOR FIRE FLOW FOR M USE.  
 PROVIDED FIRE FLOW FOR EXISTING F.H.'S:  
 FH10246  
 980 GPM AT 20 PSI PER ROANOKE CITY  
 FIRE DEPT. FLOW DATA.  
 FH10600  
 941 GPM AT 20 PSI PER ROANOKE CITY  
 FIRE DEPT. FLOW DATA.  
 FH12462  
 751 GPM AT 20 PSI PER ROANOKE CITY  
 FIRE DEPT. FLOW DATA.

## SUPPLEMENTAL REGULATIONS

- ANY GAS STATION LOCATED IN THE COMMERCIAL-GENERAL DISTRICT SHALL BE SUBJECT TO THE FOLLOWING STANDARDS:
  - ANY CANOPY OVER A GAS PUMP SHALL BE SUBJECT TO THE FOLLOWING STANDARDS:
    - A) SUCH CANOPY SHALL HAVE A MAXIMUM CLEAR, UNOBSTRUCTED HEIGHT TO ITS UNDERSIDE NOT TO EXCEED FOURTEEN (14) FEET, SIX (6) INCHES.
    - B) THERE SHALL BE NO ILLUMINATION OF ANY PORTION OF THE FASCIA OF THE CANOPY.
    - C) ANY LIGHTING FIXTURES OR SOURCES OF LIGHT THAT ARE A PART OF THE UNDERSIDE OF THE CANOPY SHALL BE RECESSED INTO THE UNDERSIDE OF THE CANOPY SO AS NOT TO PROTRUDE BELOW THE CANOPY CEILING. ALL SUCH LIGHTING ASSOCIATED WITH THE CANOPY SHALL BE DIRECTED DOWNWARD TOWARD THE PUMP ISLANDS AND SHALL NOT BE DIRECTED OUTWARD OR AWAY FROM THE SITE.
    - D) THE VERTICAL DIMENSION OF THE FASCIA OF SUCH CANOPY SHALL BE NO MORE THAN TWO (2) FEET.
    - E) SIGNS ATTACHED TO OR ON SUCH CANOPY SHALL NOT BE ILLUMINATED AND SHALL NOT EXTEND BEYOND THE END OR EXTREMITIES OF THE FASCIA OF THE CANOPY TO WHICH OR ON WHICH THEY ARE ATTACHED.



\* WORK IN THE PUBLIC RIGHT OF WAY AREA SHALL BE PERFORMED PER THE CITY OF ROANOKE RIGHT OF WAY EXCAVATION & RESTORATION STANDARDS. G.C. SHALL OBTAIN A R.O.W. EXCAVATION PERMIT PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.



**SITEPRO**  
INC.

SitePro Inc., hereby certifies that the work shown hereon was completed in substantial accordance with the prevailing State, Municipal, Authority and or project specific standards and specifications. All materials conform with the requirements within the same standards and specifications.  
 The locations of existing utility lines and or structures (if any) are approximate and furnished as a courtesy. They shall not be used for the purpose of design or construction. Any such use is at risk, and SitePro Inc., shall not be liable for any such use.

By: Andrew B. Woody, Jr.  
 Andrew B. Woody, Jr. - Proj. Manager

Date: 20 Dec 2021

**BALZER**

REFLECTING TOMORROW

www.balzer.cc

Roanoke  
 New River Valley  
 Richmond  
 Staunton  
 Harrisonburg  
 HUNTERSBURG, INDIANA  
 LAND DEVELOPMENT ENGINEERING  
 LAND USE PLANNING & ZONING  
 LANDSCAPE ARCHITECTURE  
 LAND SURVEYING  
 ARCHITECTURE  
 STRUCTURAL ENGINEERING  
 TRANSPORTATION ENGINEERING  
 ENVIRONMENTAL & SOIL SCIENCE  
 RETAIL DESIGN & BUSINESS STRATEGIES

Balzer and Associates, Inc.  
 1208 Corporate Circle  
 Roanoke, VA 24018  
 540-773-8580  
 FAX 540-772-8050

CRITICAL PATH METHOD  
 CRISTOPHER P. BURNS  
 LIC. No. 047338  
 10/26/2021  
 PROFESSIONAL ENGINEER

City of Roanoke  
 Planning, Building, & Development

COMPREHENSIVE DEVELOPMENT PLAN

**FIELD REVISION**  
**APPROVED**

by Ken Richardson  
 11/01/2021

10TH STREET RETAIL STORE  
 1919 10TH STREET NW  
 LAYOUT & UTILITY PLAN  
 CITY OF ROANOKE, VIRGINIA

DRAWN BY: EJP  
 DESIGNED BY: BTC  
 CHECKED BY: BTC  
 DATE: 7/20/2018  
 SCALE: 1"=20'

REVISIONS:  
 9/12/2018  
 10/30/2018  
 12/22/2020 FR#1  
 1/20/2021 FR#2  
 3/3/2021 FR#3  
 10/26/2021 FR#4

SHEET NO.

**C3**

JOB NO. 04170104.00