GENERAL SITE NOTES:

EX. S.S. MANHOLE RIM=1047.32

N/F MARY PARSONS TAX #2141002 0.1960 ACRES ZONED RM-1

G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.

2. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER AND CITY OF ROAMOKE PLANNING, BUILDING, AND DEVELOPMENT DEPARTMENT, AND WESTERN VIGINING WATER AUTHORITY. GC. SHALL, OBTAIN A RIGHT OF WAY PERMIT FROM THE CITY OF ROAMOKE PRIOR TO ANY WORK WITHIN THE CITY OF ROAMOKE R.O.W.

4. ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.

5. ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.

G.C. SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF ROANOKE PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

7. G.C. TO PROVIDE ALL REQUIRED CONDUIT FOR EXTERIOR LIGHTING, ELECTRICAL, TELEPHONE, AND COMMUNICATIONS AND COORDINATE SERVICES WITH UTILITY PROVIDERS FOR SPECIFIC CONNECTION DETAILS, TIMING, AND SERVICE LOCATIONS.

8. G.C. SHALL COORDINATE CONCRETE FINISHING AROUND THE PROPOSED DOOR LOCATIONS WITH THE ARCHITECTURAL PLANS.

9. THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF ALL UTILITIES AND MAKE ALL NECESSARY SCHEDULE ARANGEMENTS FOR TEMPORARY OR PERMANENT UTILITIES PER THE PROJECT SCHEDULE.

NECESSARY UTILITIES ON—SITE SUCH AS LIGHTHON, ELECTRICAL, ETC.

10. ALL ROOTOP OR GROUND MOUNTED MECHANICAL EDIPMENT SHALL BE SCREENED FROM YEW PER CITY OF ROAMOR ZONNO GROWNACE. THE PERMETER OF ALL GROUND-MOUNTED COUPMENT SHALL BE SCREENED FROM ANY STREET FROMTAGE OR ADJACENT PROPERTY BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPPOUT, THE PERMETER OF ALL ROOTOP COUPMENT THAT WOULD OTHERWISE SE VISIBLE FROM ANY STREET FRONTAGE SHALL BE SCREENED BY A FENCE OF THE STREET FROM THE STREET OF THE PROPERTY OF THE STREET OF THE SCREENED BY A FENCE OF THE STREET OF THE STREET OF THE STREET OF THE SCREENED BY SUBMISSION OF A FIELD REVISION TO THE DEVELOPMENT FROM THE SAUGHT FROM THE STREET. TO BE VERSEED BY SUBMISSION OF A FIELD REVISION TO THE DEVELOPMENT FAN OR SEPARATE BUILDING FERMIT.

11. G.C. SHALL OBTAIN A SEPARATE SIGN PERMIT FOR ALL ON-SITE AND BUILDING SIGNAGE. IF A FLAGFOLE DISPLAY IS PROPOSED, NOTE THAT ONLY FLAGS TO BE DISPLAYED ARE NATIONAL, STATE, OR OTHER GOVERNMENTAL FLAGS AND INSIGNIAS.

12 THE DUMPSTER OR REFUSE CONTINUES TORAGE AREA WIST MET ALL TAGES CONTINUES TORAGE AREA WIST MET ALL TAGES CONTINUES TORAGE AREA WIST MET ALL TAGES CONTINUES TO THE ZONNE OFFINAMENT AND THE TOTAGE TO THE CONTINUES OFFI

13. ALL EXTERIOR LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LIGHTING PLAN AND CUT SHEETS. THE LIGHTING SHALL ALSO BE INSTALLED AND AIMED TO METER ALL REQUIREMENTS SET FORTH IN SECTION 36.2 DIVISION 2 OUTDOOR LIGHTING.

14. NO OUTDOOR STORAGE IS PROPOSED AS PART OF THIS PROJECT AT THIS TIME.

15. CONDUIT INSTALLATION AS FOLLOWS:

(2) 4" PVC CONDUIT (SCHEDULE 40) FOR PRIMARY POWER TO FUEL CANOPY FROM BUILDING.

(1) 2" PVC CONDUIT (SCHEDULE 40) FOR COMMUNICATIONS TO BUILDING FROM SOURCE.

(2) 1" PVC CONDUIT(SCHEDULE 40) TO THE MONUMENT SIGNAGE FROM BUILDING

SAW CUT EX. EP & FULL DEPTH PVMT. REPLACEME

R150'

NOTE: ANY EXISTING WATER OR SEWER CONNECTIONS NOT UTILIZED FOR THIS DEVELOPMENT SHALL BE ABANDONED AT THE MAIN BY THE DEVELOPER

N/F MATTHEW T. O'BRYAN T.M. #2060502

_x__ı_x__ı

(1) 1" PVC CONDUIT(SCHEDULE 40)FROM THE BUILDING TO THE

(ALL CONDUIT TO CONTAIN TWO PULL STRINGS EACH)

EX. DI-3B STORM INLET TOP=1046.2 INV. IN=1042.70 (G.C. TO CONFIRM)

N58 42 30 W 96.40

ex. DI—3B STORM INLET TOP TO BE RELOCATED TOP=1043.4 INV. IN=1037.8

te location of 12"

- VDOT PROPOSED DI-3B STORM INLET TOP=1036.8 INV. IN=1031.2 (BY OTHERS)

PROPOSED 900
MONUMENT SIGN
* SEPARATE PERMIT REQUIRED
FOR SIGNAGE PRIOR TO
INSTALLATION

NAT'L GAS VDOT ST'D LINE BY CG-9D CONC. RKE. GAS COMMERCIAL ENTRANCE

UTILITY NOTES:

1. G.C. SHALL COORDINATE THE EXACT SANITARY SEWER, WATER, AND STORM SEWER BUILDING TIE-IN LOCATIONS WITH THE ARCHITECTURAL PLANS.

2. ALL UTILITY SERVICE LATERALS OR LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND PER SECTION 36.2—610. WATER & SEWER CONNECTIONS SHALL CONFORM TO WWM UTILITY STANDARDS AND INTERNATIONAL BUILDING CODE

3. THE G.C. SHALL COORDINATE TEMPORARY POWER FOR THE PROPOSED BUILDING AS REQ'D

4. SPECIFIC WATER AND SEWER NOTES ARE PROVIDED ON SHEET C10. PLEASE REFERENCE FOR NOTIFICATION AND CONSTRUCTION STANDARDS THAT ARE REQUIREMENTS OF THE PROJECT.

CONCRETE SLAB CONSTRUCTION NOTES:

1. 1/2" TOOLED RADIUS SHALL BE PROVIDED ALONG ALL NEW EDGES OF THE CONCRETE SLAB.

2. CONSTRUCTION JOINTS SHALL BE PROVIDED WHEN CONTINUOUS POUR OPERATIONS ARE SUSPENDED FOR MORE THAN 30 MINUTES. EXPANSION JOINTS SHALL BE PROVIDED BETWEEN ANY NEW CONSTRUCTION AND THE EXISTING CONCRETE PAVEMENT/ASPHALT SURFACE

3. THE CONCRETE PAD DEPTH VARIES BETWEEN THE CANOPY SLAB AND TANK SLAB.

- FLECTRICAL SERVICE

LEVELTON AVENUE

22' R/W

EXISTING FIRE HYDRANT FLOW DATA:

1. 10TH STREET (ADJACENT TO LEVELTON AVENUE INTERSECTION)

AUTHORITY ID - 10246

FIRE FLOW SUMMARY:

PROVIDED FIRE FLOW FOR EXISTING F.H'S.

FH:10246 980 GPM AT 20 PSI PER ROANOKE CITY FIRE DEPT. FLOW DATA.

FH:10600 941 GPM AT 20 PSI PER ROANOKE CITY FIRE DEPT. FLOW DATA.

FH:12462 751 GPM AT 20 PSI PER ROANOKE CITY FIRE DEPT. FLOW DATA.

ex. edge of property

VDOT PROPOSED UTILITY CALLOUTS PER VDO PLAN U000-128-V12 FOR 10TH STREET IMPROVEMENTS WITHIN THE CTY OF ROANOKE

ANY GAS STATION LOCATED IN THE COMMERCIAL—GENERAL DISTRICT SHALL BE SUBJECT TO THE FOLLOWING STANDARDS:

SUPPLEMENTAL REGULATIONS

ANY CANOPY OVER A GAS PUMP SHALL BE SUBJECT TO THE FOLLOWING STANDARDS:

A) SUCH CANOPY SHALL HAVE A MAXIMUM CLEAR, UNOBSTRUCTED HEIGHT TO ITS UNDERSIDE NOT TO EXCEED FOURTEEN (14) FEET, SIX (6) INCHES.

B) THERE SHALL BE NO ILLUMINATION OF ANY PORTION OF THE FASCIA OF THE CANOPY.

THE INSIGN OF THE CONOPY.

(C) ANY LIGHTING FIXTURES OR SOURCES OF LIGHT THAT ARE A PART OF THE UNDERSIDE OF THE CANOPY SHALL BE RECESSED INTO THE UNDERSIDE OF THE CANOPY SO AS NOT TO PROTRUDE BELOW THE CANOPY CEILING, ALL SUCH LIGHTING ASSOCIATED WITH THE CANOPY SHALL BE DIRECTED DOWNWARD TOWNED THE PUMP ISLANDS AND SHALL NOT BE DIRECTED OUTWARD OR AWAY FROM THE STRE.

D) THE VERTICAL DIMENSION OF THE FASCIA OF SUCH CANOPY SHALL BE NO MORE THAN TWO (2) FEET.

E) SIGNS ATTACHED TO OR ON SUCH CANOPY SHALL NOT BE ILLUMINATED AND SHALL NOT EXTEND BEYOND THE END OR EXTREMITIES OF THE FASCIA OF THE CANOPY TO WHICH OR ON WHICH THEY ARE ATTACHED.

WORK IN THE PUBLIC RIGHT OF WAY AREA SHAL * BE PERFORMED PER THE CITY OF ROANOKE RIGHT OF WAY EXCAVATION & RESTORATION STANDARDS, G.C. SHALL OBTAIN A R.O.W. EXCAVATION PERMIT PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY.



EX. R.O.W. S66'43'40"E 829.72"



nning, Building, & Developmen IPREHENSIVE DEVELOPMENT PLAN

FIELD REVISION APPROVED

by Ken Richardson

ORE

PLAN ST STREET RETAIL UTILITY ∞ LAYOUT 10TH

DRAWN BY DESIGNED BY BTC CHECKED BY BTC DATE 7/20/2018

1"=20"

Р

CIT

SCALE REVISIONS: 9/12/2018 10/30/2018 10/30/2018 12/22/2020 FR#1 1/20/2021 FR#2 3/3/2021 FR#3 10/26/2021 FR#4

- 6' PLANTING STRIP ex. FH-WVWA ID: 10246_ STATIC: 39 psi RESIDUAL: 20 psi 980 OPM at 20 PSI per WVWA flow data 10' MAY EVS N/F
KAWAJA CORPORATION
T.M. JEOGOSS4
ZONED CG
NEW PARCEL AREA: 2.76 AC
(WITH R.O.W. DEDICATION) 1 S.S. CLEANOUT G.C. SHALL COORDINATE
EXACT UTILITY TIE IN
LOCATIONS W/ARCH & MEP
DRAWINGS PRIOR TO
CONSTRUCTION OF EACH
UTILITY. H.C. PARKING AREA W/SIGNAG STRIPING, AND BUMPER BLOCKS FUEL VENT RISER -W/BOLLARDS (DESIGN BY OTHERS) BLDG. MOUNTED H.C. SIGNAGE (DETAIL C11) 1" WATER -LATERAL ш PROPOSED RETAIL STORE N/F WALLEY PROPERTIES LLC TAX #2141001 0.3527 ACRES ZONED RM-1 GROUND MOUNTED THE STATE OF ST - GROUND MOUNTED HVAC UNIT W/FULL HEIGHT 6' SCREENING FENCE (SOLID FENCE) SEE GENERAL NOTE #10 THIS SHEET 8 **I** ≥ Ex. -- 18.0 - 3200 SERIES KNOX BOX SHALL BE PROVIDED AT THE FRONT DOOR. COORDINATE LOCATION W/FIRE MARSHAL. FUEL CANOPAY DESIGN BY OTHERS EX. 5/8" WM & 1"
WATER LATERAL
TO BE UPGRADED
TO 1" WM
G.C. SHALL COORD.
OUTAGE W/ WVWA SITE TO BE PERMANENTLY SEEDED

FOR ALL DISTURBED & UNDISTURBED AREAS AS
REQUIRED PER ESC AND ZONING REGULATIONS.

SEE E.S.C PLAN FOR

DETAILS 9.0 بطق 0 DOOR LOCATION لفتت ROOF DRAIN FUTURE TENANT SPACE 13 LIGHT FIXTURE NOTATION TYP. 12K U.G. TANK 87 UNLEADED (DESIGN BY OTHERS) - ROOF LEADER 15'x15' SIGHT DISTANCE TRIANGLE TYP. (0) 10K U.G. TANK 93/DIESEL SPLIT TANK (DESIGN BY OTHERS) VDOT ST'D CG-2 2' CURB -TAPER TYP. DUMPSTER ENCLOSU W/BOLLARDS & COM EX. S.S. MANHOLE - RIM= 1042.34 INV.=1033.33 (G.C TO QONFIRM) 2 /4\ Δ - PROP FENCE - PROP SEGMENTA RETAINING WALL

PROPOSED 6' SCREEN FENCE & 6' TALL EVERGREEN TREE BUFFER (10' ON CENTER) W/I THE PROPOSED BUFFER YARD (SEE LANDSCAPE PLAN)

N/F GALT PROPERTIES T.M. #2060508 D.B. 1486, PG. 136 D.C. LOT 3A, BLOCK

N/F GALT PROPERTIES T.M. #2060505 NIST. #1400011804 LOT 2B, BLOCK 3

PROPOSED 5' WIDE PUBLIC CONCRETE SIDEWALK (TYP.)

2 CURB TAPER

rex LP

N/F CITY OF ROMNOKE T.M. #2060828 AREA: 0.11 AC

SitePro Inc., hereby certifies that that the work shown hereon was completed in substantial accordance with the prevailing State, Municipal, Authority and or project specific standards and specifications. All materials conform with the requirements within the same standards and specifications.

The locations of existing utility lines and or structures (if any) are approximate and furnished as a courtesy. They shall not be used for the purpose of design or construction. Any such use is at risk, and SitePro Inc., shall not be liable for any such use

> Andrew B. Woody, Gr. Andrew B. Woody, Jr - Proj. Manager

20 Dec 2021

Roanoke New River Valley Richmond Staunton Harrisonburg

alzer and Associates, Inc 1208 Corporate Circle Roanoke, VA 24018

540-772-9580 FAX 540-772-8050