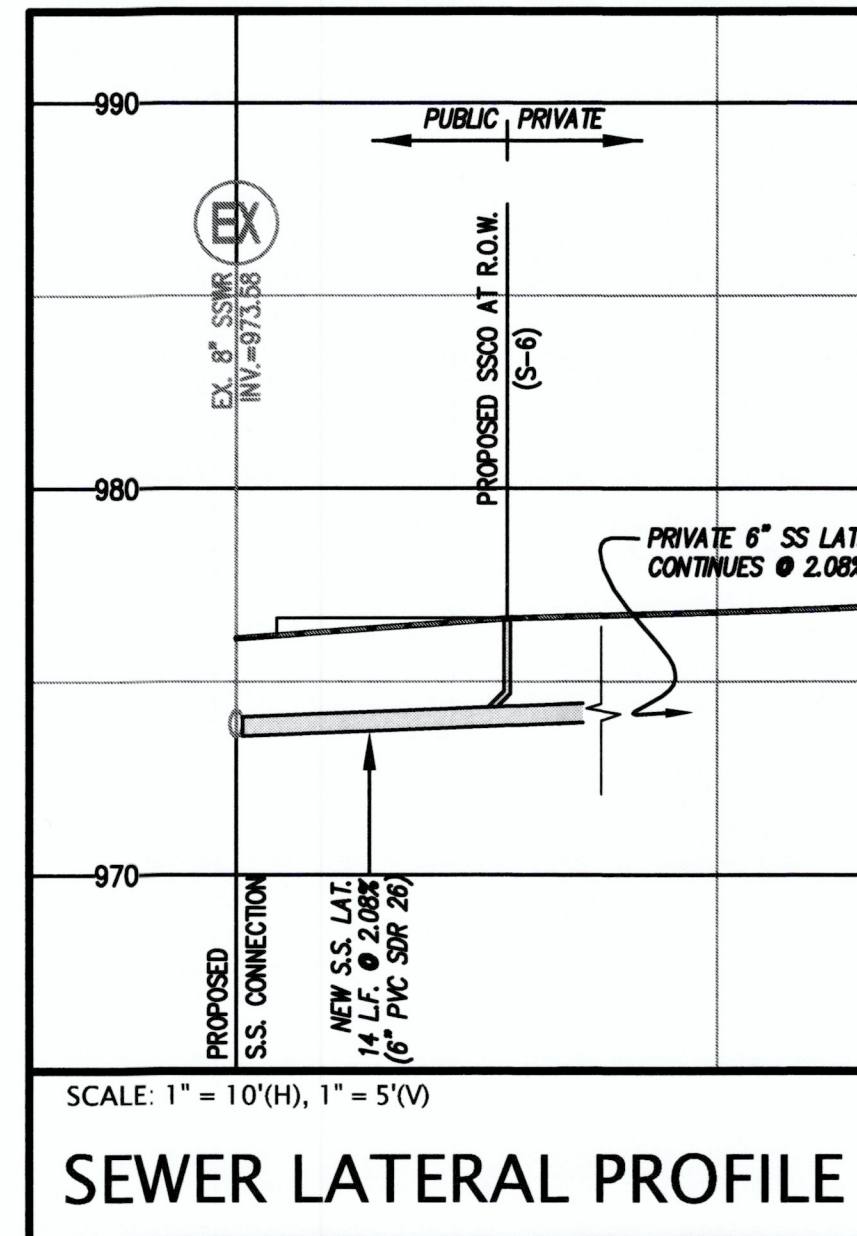


## SITE BENCHMARK

BENCHMARK No. 1: EXISTING SANITARY SEWER MANHOLE LID.  
 ELEVATION = 977.12'  
 NOTE: FIELD VERIFY BEFORE USE.



## LANDSCAPE NOTES:

- ALL TREE MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS AS DESCRIBED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- THE PLANTING OF TREES AND SHRUBS SHALL BE DONE IN ACCORDANCE WITH THE STANDARDIZED LANDSCAPE SPECIFICATIONS JOINTLY ADOPTED BY THE VA NURSERYMEN'S ASSOCIATION, THE VA SOCIETY OF LANDSCAPE DESIGNERS AND THE VA CHAPTER OF THE ASLA.
- AT THE TIME OF DELIVERY, ALL PLANT MATERIALS NOT IMMEDIATELY PLACED IN THEIR FINAL PLANTING LOCATION MUST BE STORED IN A SHADED LOCATION WITH ADEQUATE AIR CIRCULATION, AND BE KEPT MOIST. THIS PLAN IS TO SATISFY THE MINIMUM REQUIREMENTS OF THE CITY OF ROANOKE ZONING ORDINANCE. THE DEVELOPER MAY INCREASE PLANTING DENSITY BEYOND THE MINIMUM REQUIREMENTS.
- GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED AND BUFFERED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 36.2-642(c), AND TABLES 647-1 AND 649-1 OF THE ROANOKE CITY ZONING ORDINANCE. THIS PLAN ANTICIPATES THE USE OF SOLID PANEL PVC OR TREATED WOOD FENCING OF SUFFICIENT HEIGHT TO SCREEN MECHANICAL EQUIPMENT, AND AT LEAST 1' ABOVE THE HEIGHT OF ANY DUMPSTER OR OTHER REFUSE CONTAINER TO BE SCREENED.
- THE ASPHALT "PARKING AREA" ON THE WEST SIDE OF THE NEW WAREHOUSE IS SUBJECT TO THE "LOADING AREA" USE IN TABLE 647-1 AND SHALL BE SCREENED FROM THE ADJACENT MULTIPLE PURPOSE DISTRICT BY EVERGREEN TREE PLANTING.
- ONE NEW PARKING SPACE IS PROVIDED WITH THIS PROJECT THEREFORE NO NEW PARKING CANOPY IS REQUIRED PER TABLE 648-1.

## SITE CANOPY COVERAGE:

I-1 DISTRICT MINIMUM CANOPY COVERAGE REQUIREMENT: 10%  
 ON-SITE AREA (ON-SITE DISTURBED AREA): 9,880 SF (0.23 AC)  
 REQUIRED SITE CANOPY COVERAGE: 988 SF  
 TOTAL CANOPY COVERAGE PROVIDED: 1,139 SF (11.4%)

## LANDSCAPE MATERIALS

SYMBOL & KEY	SCIENTIFIC NAME	COMMON NAME	SIZE (MIN.)	CONTAINER	QUANTITY	CANOPY	CANOPY SUB-TOTAL
<b>TREES</b>							
BN	<i>Betula nigra</i> 'Heritage'	'HERITAGE' RIVER BIRCH	2" CAL.	B&B	1	254	254
PS	<i>Pinus strobus</i>	WHITE PINE	5'	B&B	5	177	885
						<b>TOTAL CANOPY</b>	<b>1,139</b>

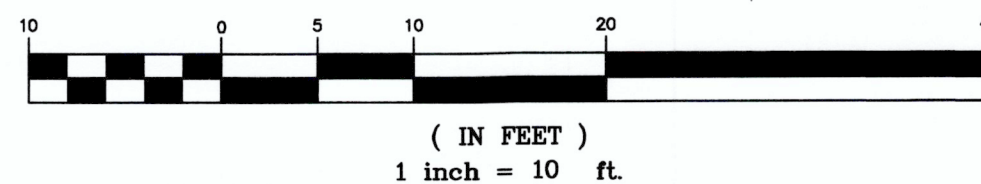
## ABBREVIATIONS

R/W	RIGHT OF WAY
VAR.	VARIABLE
EXIST.	EXISTING
D.B.	DEED BOOK
P.B.	PLAY BOOK
PG.	PAGE
INST. #	INSTRUMENT NUMBER
TRP	TO BE REMOVED
RCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
C	COMMUNICATIONS LINE
G	NATURAL GAS LINE
W	WATER LINE
UFO	UNDERGROUND FIBER OPTIC
FEE	FINISHED FLOOR ELEVATION
SP	SPOT ELEVATION
TC	TOP OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL
EP	EDGE OF PAVEMENT

## LEGEND

ITEM	EXISTING	PROPOSED
GRAVEL		
PAVEMENT (STANDARD)		
CONCRETE		
EDGE OF GRAVEL		
SANITARY SEWER LINE	8" SWR	SS
WATERLINE	8" W	W
UTILITY POLE		
INDEX CONTOURS	980	980
INTERMEDIATE CONTOURS	978	978
UNDERGROUND GAS	G	G
UNDERGROUND COMMUNICATIONS	C	C
SPOT ELEVATION	979.2 +	979.2

## GRAPHIC SCALE



## SITE AND ZONING TABULATIONS

TAX NUMBER: 1313510  
 ZONING DISTRICT: I-1, LIGHT INDUSTRIAL DISTRICT  
 SITE ACREAGE: 13,330 S.F. TOTAL (0.305 ACRES)  
 EXISTING USE: VACANT PARCEL  
 PROPOSED USE: WAREHOUSE

**LOT AREA:**  
 MINIMUM: 10,000 S.F.  
 MAXIMUM: NONE

**LOT FRONTAGE:**  
 MINIMUM: 100'  
 MAXIMUM: NONE

## REQUIRED SETBACKS:

FRONT YARD: 0' MINIMUM, NO MAXIMUM  
 SIDE YARD: 0' (SAME FOR ACCESSORY STRUCTURES)  
 REAR YARD: 0' (SAME FOR ACCESSORY STRUCTURES)

MAXIMUM HEIGHT: NO MAXIMUM WHEN NO RESIDENTIAL IS ADJACENT.

MAXIMUM FLOOR AREA RATIO: 2.0

PROPOSED FLOOR AREA RATIO: 0.23

IMPERVIOUS SURFACE RATIO MAXIMUM: 90% MAXIMUM

PROPOSED IMPERVIOUS SURFACE RATIO: 50.6% (6,740 S.F.)

MINIMUM PARKING APPLIES: YES

MINIMUM TREE CANOPY: 10% (SEE LANDSCAPE NOTES & PROPOSED CANOPY COVERAGE, THIS SHEET)

## PARKING REQUIREMENTS:

MINIMUM REQUIRED PARKING (WAREHOUSE): 1 SPACE PER 5,000 S.F. OF BUILDING AREA  
 MINIMUM REQUIRED PARKING CALCULATION: (3,000 S.F. BUILDING) / 5,000 S.F. = 1 SPACE REQUIRED

PROPOSED PARKING: 1 SPACES (ADA COMPLIANT)

## GENERAL NOTES

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE CITY TAX ASSESSMENT MAP NO. 1313510.
- OWNER: ROY G. MAIN JR. & NORMA JEAN MAIN  
 5432 CANTER DR., S.W.  
 ROANOKE, VA 24018
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATE, P.C.
- TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2021 AND SUPPLEMENTED BY CITY OF ROANOKE GIS MAPPING.
- NO TITLE REPORT WAS FURNISHED FOR THIS PROJECT, AND ENCUMBRANCES MAY EXIST THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.
- THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PUBLIC STREETS.
- ANY AND ALL EXTERIOR LIGHTING SHALL BE DESIGNED AND INSTALLED PER ARTICLE 6, DIVISION 2, - OUTDOOR LIGHTING, OF THE CITY OF ROANOKE ZONING ORDINANCE. NO EXTERIOR LIGHTING IS PROPOSED WITH THIS PROJECT.
- NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF ROANOKE, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
- THIS PROPERTY IS LOCATED WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBER 51161C01636, DATED SEPTEMBER 28, 2007.
- THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITIES. STORM DRAIN STRUCTURES, SANITARY SEWER MANHOLES, AND ALL OTHER SURFACE UTILITIES WERE FIELD LOCATED. ALL UNDERGROUND UTILITIES SHOWN WERE ESTABLISHED USING ABOVE GROUND STRUCTURES, MISS UTILITY MARKINGS AND AVAILABLE UTILITY MAPS. ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL REFUSE DUMPSTERS AND/OR CONTAINERS SHALL BE SCREENED FROM SURROUNDING VIEWS PURSUANT TO THE REQUIREMENTS OF SECTION 36.2-647 AND TABLE 647-1, NONE PROPOSED WITH THESE PLANS.
- MECHANICAL EQUIPMENT LOCATED ON THE GROUND OR MOUNTED ON A ROOF SHALL BE SCREENED PURSUANT TO THE REQUIREMENTS OF SECTION 36.2-647 AND TABLE 647-1. PROPOSED MECHANICAL EQUIPMENT, IF INCLUDED ON ARCHITECTURAL PLANS, SHALL BE SCREENED AS SHOWN ON THIS PLAN.
- ALL UTILITY SERVICE LATERALS, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND.

## CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK BY CONTACTING MISS UTILITY. CONTACT SITE ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS. IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THIS PLAN, CALL "MISS UTILITY" OF CENTRAL VIRGINIA AT 1-800-552-7001. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT ANY EXISTING STORM SEWER SYSTEM IN THE EVENT THEY BECOME SILTED OR BLOCKED IN ANY WAY DUE TO THE PROPOSED DEVELOPMENT.

## GRADING NOTES

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT AND ROCKS LARGER THAN 6 INCHES IN DIAMETER OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
- A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

## WESTERN VIRGINIA WATER AUTHORITY NOTES

- ALL WATER AND SANITARY SEWER FACILITIES ARE TO BE INSTALLED ACCORDING TO THE WESTERN VIRGINIA WATER AUTHORITY DESIGN AND CONSTRUCTION STANDARDS.
- ALL SANITARY SEWER CLEANOUTS WITHIN AREAS OF TRAFFIC SHALL BE H-20 TRAFFIC RATED.
- ALL WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM OF 3.0 FEET OF COVER.
- MAINTAIN A MINIMUM OF 18" CLEARANCE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER, SANITARY SEWER, AND STORM DRAIN CROSSINGS. WHERE THIS CLEARANCE CAN NOT BE ACHIEVED, CONCRETE PIERS SHALL BE UTILIZED IN ACCORDANCE WITH THE WESTERN VIRGINIA WATER AUTHORITY'S WATER AND SANITARY SEWER STANDARDS.

## STORMWATER INLET CONNECTION NOTE

- STORMWATER INLET "A" IS TO BE BLOCKED FROM INFLOW AND STUBBED OUT AND CAPPED UNTIL FUTURE CONNECTION TO STORMWATER MANAGEMENT INFRASTRUCTURE IS INSTALLED (REFER TO CITY OF ROANOKE - CHAPMAN AVENUE/19TH STREET STORMWATER DRAINAGE IMPROVEMENT PROJECT). STUB OUT SHALL BE 15" RCP AT 0.02 FT/FT.

**Lumsden Associates, P.C.**  
 ENGINEERS | SURVEYORS | PLANNERS



4664 BRAMBLETON AVENUE  
 P.O. BOX 20669  
 ROANOKE, VIRGINIA 24018

## SITE PLAN

**COMPREHENSIVE DEVELOPMENT PLAN  
 & MAIN HEATING & AIR CONDITIONING**  
 LOCATED AT  
**1929 CHAPMAN AVENUE, S.W.**  
 TAX PARCEL 1313510  
 CITY OF ROANOKE, VIRGINIA

NO.	DATE	DESCRIPTION
1	December 15, 2021	SCALE: 1" = 10'
2		COMMISSION NO: 21-124
3		SHEET 3 OF 7