

1. G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.

2. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, W.V.W.A., AND CITY OF ROANOKE PL AND DEVELOPMENT DEPARTMENT. G.C SHALL OBTAIN A RIGHT OF WAY PERMIT FROM THE CITY OF ROANOKE PRIOR TO ANY WORK ROANOKE R.O.W.

3. GENERAL CONTRACTOR TO FIELD VERIFY PAVEMENT TIE IN LOCATIONS/ELEVATIONS AND ENSURE THAT POSITIVE DRAINAGE AWAY F BUILDING IS MAINTAINED THROUGHOUT THE SITE.

4. ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPL TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.

5. ALL BUILDING DIMENSIONS AND UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.

6. G.C. SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF ROANOKE PRIOR TO ANY CONSTRUCTION WITHIN THE PUBLIC RIGI 7. G.C. TO PROVIDE ALL REQUIRED CONDUIT FOR EXTERIOR LIGHTING, ELECTRICAL, TELEPHONE, AND COMMUNICATIONS. ALL UTILI INSTALLED UNDERGROUND.

8. G.C. SHALL COORDINATE CONCRETE FINISHING AROUND THE PROPOSED DOOR LOCATIONS WITH THE ARCHITECTURAL PLANS.

9. THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF ALL UTILITIES AND MAKE ALL NECESSARY SCHEDULE TEMPORARY OR PERMANENT UTILITIES PER THE PROJECT SCHEDULE.

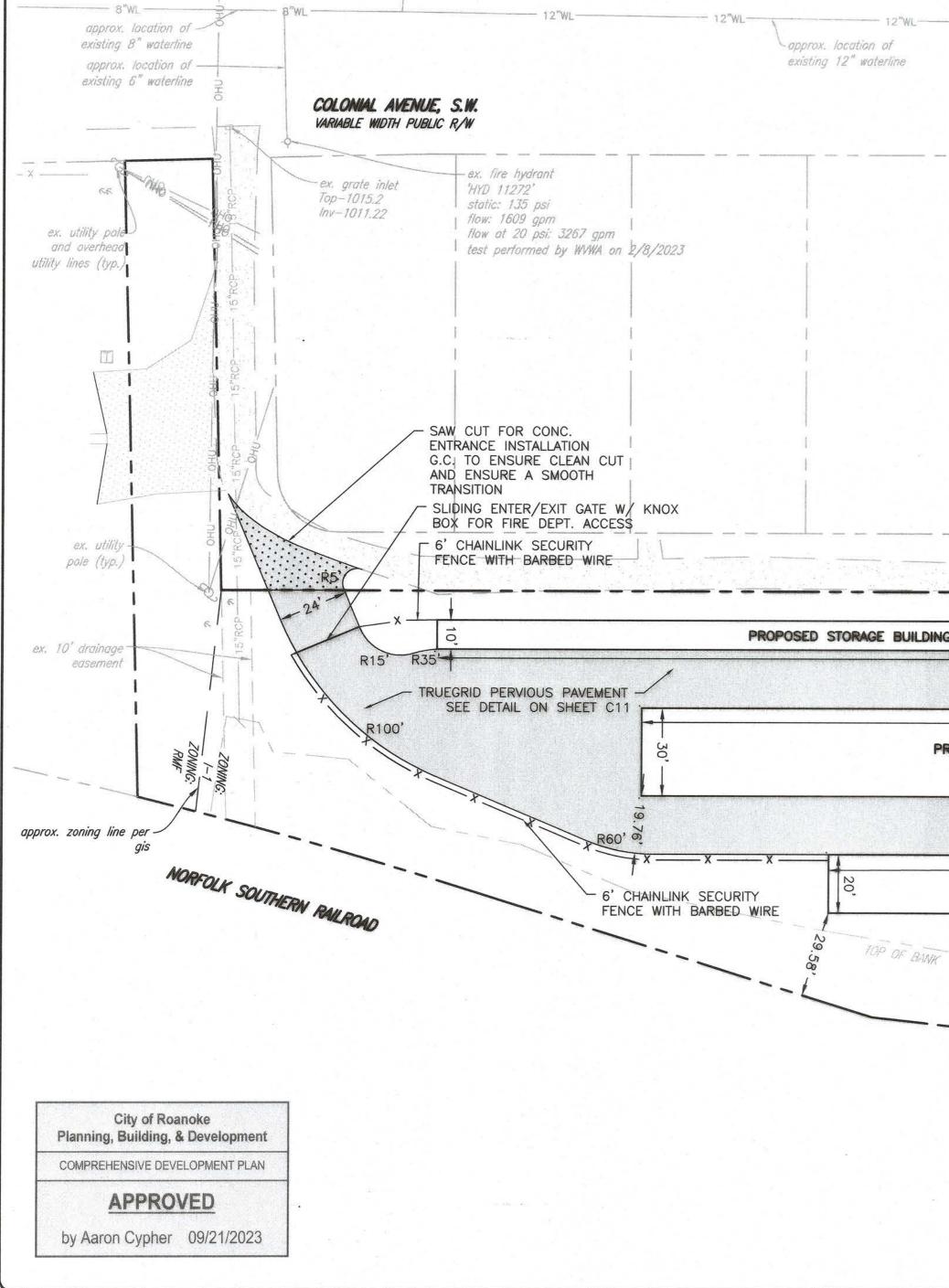
10. ALL ROOFTOP OR GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW PER CITY OF ROANOKE ZONING PERIMETER OF ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED FROM ANY STREET FRONTAGE OR ADJACENT PROPERTY BY WALL WITH 60% OR GREATER OPACITY. THE PERIMETER OF ALL ROOFTOP EQUIPMENT THAT WOULD OTHERWISE BE VISIBLE FROM AN SHALL BE SCREENED BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY AT LEAST 1/2 THE VERTICIAL HEIGHT OF THE E ADJACENT STREET, TO BE VERIFIED BY SUBMISSION OF A FIELD REVISION TO THE DEVELOPMENT PLAN OR SEPARATE BUILDING PERM

11. G.C. SHALL OBTAIN A SEPARATE SIGN PERMIT FOR ALL ON-SITE AND BUILDING SIGNAGE. IF A FLAGPOLE DISPLAY IS PROPOSEI FLAGS TO BE DISPLAYED ARE NATIONAL, STATE, OR OTHER GOVERNMENTAL FLAGS AND INSIGNIAS.

12.THE REFUSE CONTAINER STORAGE AREA MUST MEET ALL REQUIREMENTS SET FORTH IN TABLE 647-1 AND ARTICLE 4. SUPPLEME SECTION OF THE ZONING ORDINANCE. THE HEIGHT OF THE SCREENING MUST BE AT LEAST 12" ABOVE THE TOP OF THE CONTAINED OF THE SCREENING MUST BE A SOLID FENCE MATERIAL. SEE ENCLOSURE AND GATE DETAILS.

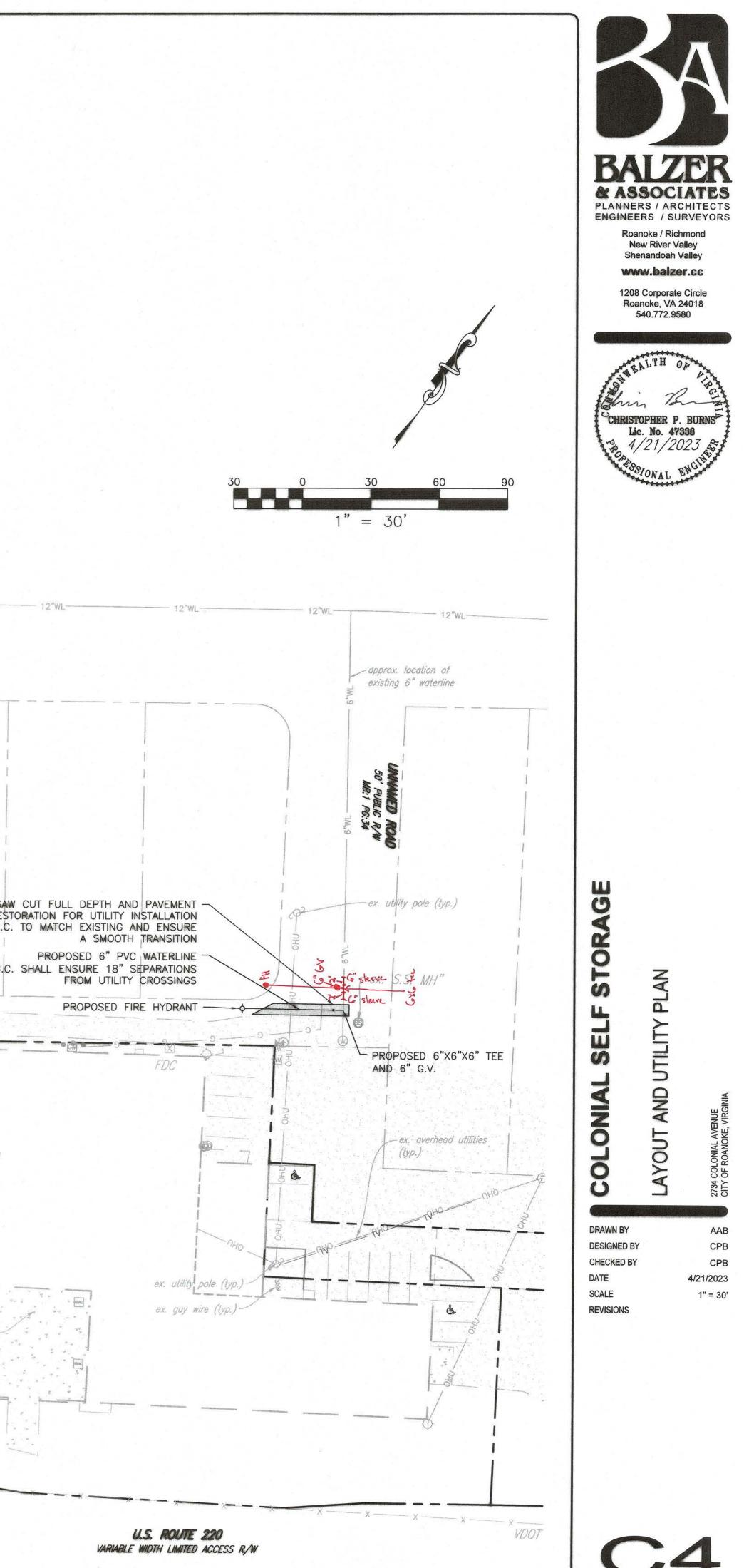
13. ALL EXTERIOR LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LIGHTING PLAN AND CUT SHEETS. THE LIGH INSTALLED AND AIMED TO MEET ALL REQUIREMENTS SET FORTH IN SECTION 36.2 DIVISION 2 OUTDOOR LIGHTING.

14. ALL DOWNSPOUTS SHALL DISCHARGE AT GRADE OR BE PIPE UNDERGROUND TO THE PROPOSED STORMWATER MANAGEMENT FACIL DOWNSPOUTS DISCHARGING AT GRADE, G.C. SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS.



04/04220091.00 COLONIAL SELF STORAGE/CIVIL/dwg/04220091.00 Base 2.24.2023.dwg PLOTTED: 4/21/2023 3:11

[FIRE FLO	OW DATA:			
D	EXISTING FLO HYD-11272	W DATA PER TEST PERFORMED BY T	HE WVWA ON 2/8/2023		
WITHIN THE CITY OF	STATIC PRESS FLOW: 1609	SURE: 135 PSI GPM @ 104 PSI RESIDUAL FLOW: 3267 GPM @ 20 PSI RESIDU/	۵١		
ROM THE PROPOSED		EQUIRED: 2,500 GPM	a		
ACED AS NECESSARY	PROPOSED FI	IRE HYDRANT: 2,500 GPM AT 31 PSI	RESIDUAL		
GHT-OF-WAY.	S	HADING LEGEND:	7		
ITIES TO BE		PROPOSED TRUEGRID			
		PERVIOUS PAVEMENT SEE SHEET C11 FOR DETAILS			
E ARANGEMENTS FOR		PROPOSED HEAVY DUTY ASPHALT			
G ORDINANCE. THE A FENCE OR SOLID NY STREET FRONTAGE EQUIPMENT FROM THE		PROPOSED CONCRETE PAVEMENT			
MIT. D, NOTE THAT ONLY		EXISTING ASPHALT PAVEMENT			
NTAL REGULATION R AND THE OPACITY		EXISTING GRAVEL			
HTING SHALL ALSO BE	er e	EXISTING CONCRETE]		
LITY. FOR					
			* 8		
12"WL		12"WL			
		TZ WL	12"WL	12"WL	
			1		
	1				
					SA
				AW CUT FOR CONC.	G.
		SLIDING EXIT ONLY GATE W/ H BOX FOR FIRE DEPT. AC		NTRANCE INSTALLATION C. TO ENSURE CLEAN CUT ND ENSURE A SMOOTH	G.
	20' PUBL			RANSITION	
			R15		
G "A" - 3,700 S.F FFE:	1015.00	•	R8' 25' - *	ex. concrete ramp	
		20' STORMWATER MANAGEME	NT	ex, roof leaders piped underground	
300'			- 33.3'	G.C. TO CONFIRM LOCATION AND RELOCATE AS NECESSARY	EX.
ROPOSED STORAGE BUILDING 9,000 S.F FFE: 1014.25	"B" 5	CONC. BOLLARDS AT BUILDING CORNERS (TYP.)	~ .	RELOCATED ROOF LEADER TRUNKLINE (MIN SLOPE 1 G.C. TO MATCH EXISTING	%) #2734
		BOILDING CORNERS (TTF.)		AND MATERIAL AND TO EN ALL EXISTING ROOF DRAIN	NSURE NS ARE
		5	R19'	6' CHAINLINK SECURITY FENCE WITH BARBED WIRE	
PROPOSED STOR 5,000 S.F		G "C"		ex. HVAC unit (typ.)	
					ex. conrete-
					neroficial territoria and a second
STORMWATER M STRUCT	URE WITH WI	EIR WALL		45'X120' STORMWATER MANAGEMENT ACCESS/MAIN	TENANOE
SEE D	AND ORIFIC DETAIL ON SH		<u></u> <u>x</u> <u></u> <u>x</u> <u>x</u>		
		X		80'X22'X6' UNDERGROUND	
	ана) - Санан			INFILTRATION PIT FOR SWM TOP OF STONE= 1004.00 BOTTOM OF STONE= 998.0	00
				SEE DETAIL ON SHEET C10	
and the second	and the second second second				



PROJECT NO.

04220091.0/