

GENERAL SITE NOTES:

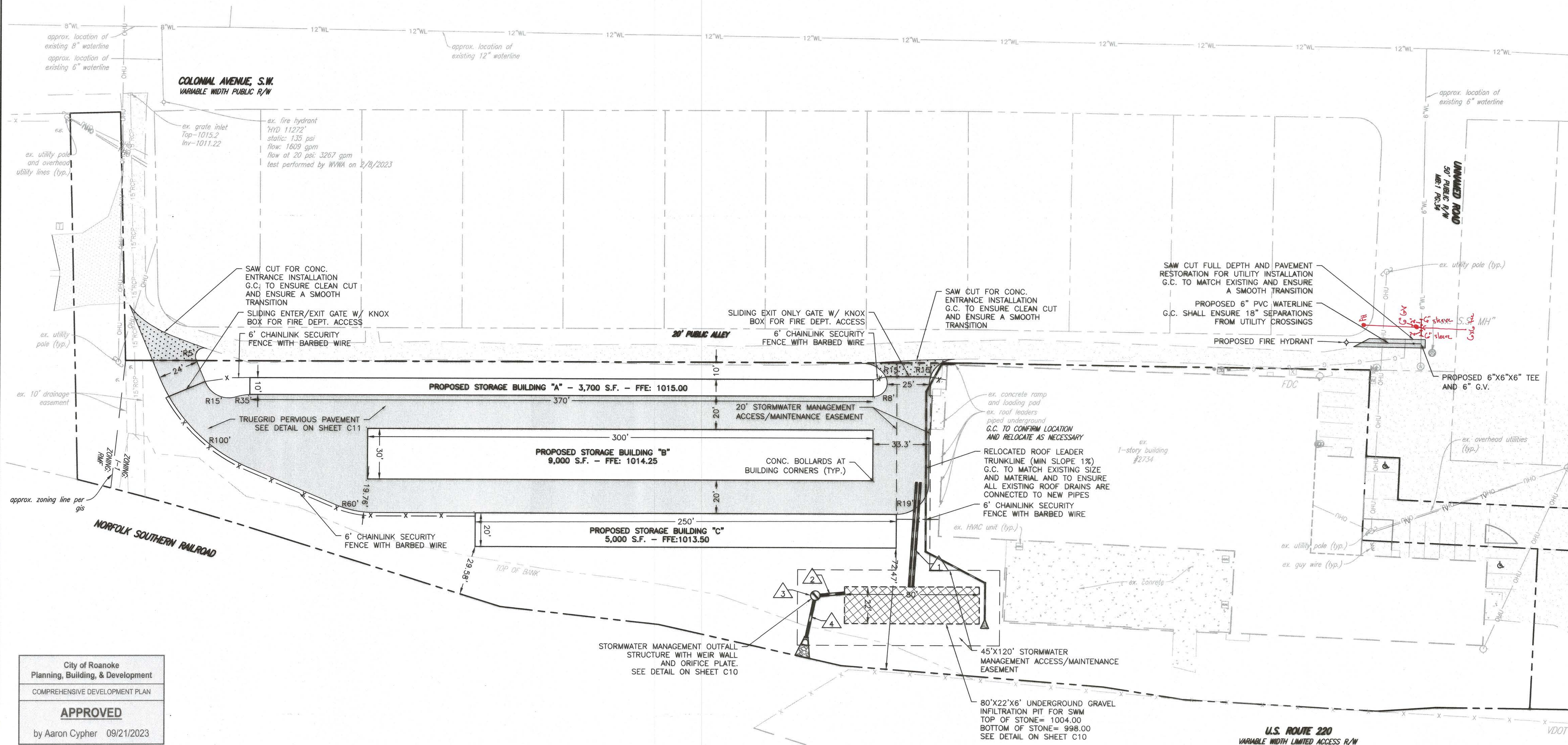
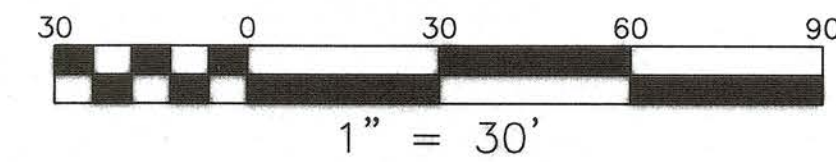
- G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, W.V.W.A., AND CITY OF ROANOKE PLANNING, BUILDING, AND DEVELOPMENT DEPARTMENT. G.C. SHALL OBTAIN A RIGHT OF WAY PERMIT FROM THE CITY OF ROANOKE PRIOR TO ANY WORK WITHIN THE CITY OF ROANOKE R.O.W.
- GENERAL CONTRACTOR TO FIELD VERIFY PAVEMENT TIE IN LOCATIONS/ELEVATIONS AND ENSURE THAT POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING IS MAINTAINED THROUGHOUT THE SITE.
- ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
- ALL BUILDING DIMENSIONS AND UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
- G.C. SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF ROANOKE PRIOR TO ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY.
- G.C. TO PROVIDE ALL REQUIRED CONDUIT FOR EXTERIOR LIGHTING, ELECTRICAL, TELEPHONE, AND COMMUNICATIONS. ALL UTILITIES TO BE INSTALLED UNDERGROUND.
- G.C. SHALL COORDINATE CONCRETE FINISHING AROUND THE PROPOSED DOOR LOCATIONS WITH THE ARCHITECTURAL PLANS.
- THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF ALL UTILITIES AND MAKE ALL NECESSARY SCHEDULE ARRANGEMENTS FOR TEMPORARY OR PERMANENT UTILITIES PER THE PROJECT SCHEDULE.
- ALL ROOFTOP OR GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW PER CITY OF ROANOKE ZONING ORDINANCE. THE PERIMETER OF ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED FROM ANY STREET FRONTAGE OR ADJACENT PROPERTY BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY. THE PERIMETER OF ALL ROOFTOP EQUIPMENT THAT WOULD OTHERWISE BE VISIBLE FROM ANY STREET FRONTAGE SHALL BE SCREENED BY A FENCE OR SOLID WALL WITH 60% OR GREATER OPACITY AT LEAST 1/2 THE VERTICAL HEIGHT OF THE EQUIPMENT FROM THE ADJACENT STREET, TO BE VERIFIED BY SUBMISSION OF A FIELD REVISION TO THE DEVELOPMENT PLAN OR SEPARATE BUILDING PERMIT.
- G.C. SHALL OBTAIN A SEPARATE SIGN PERMIT FOR ALL ON-SITE AND BUILDING SIGNAGE. IF A FLAGPOLE DISPLAY IS PROPOSED, NOTE THAT ONLY FLAGS TO BE DISPLAYED ARE NATIONAL, STATE, OR OTHER GOVERNMENTAL FLAGS AND INSIGNIAS.
- THE REFUSE CONTAINER STORAGE AREA MUST MEET ALL REQUIREMENTS SET FORTH IN TABLE 647-1 AND ARTICLE 4. SUPPLEMENTAL REGULATION SECTION OF THE ZONING ORDINANCE. THE HEIGHT OF THE SCREENING MUST BE AT LEAST 12" ABOVE THE TOP OF THE CONTAINER AND THE OPACITY OF THE SCREENING MUST BE A SOLID FENCE MATERIAL. SEE ENCLOSURE AND GATE DETAILS.
- ALL EXTERIOR LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LIGHTING PLAN AND CUT SHEETS. THE LIGHTING SHALL ALSO BE INSTALLED AND AIMED TO MEET ALL REQUIREMENTS SET FORTH IN SECTION 36.2 DIVISION 2 OUTDOOR LIGHTING.
- ALL DOWNSPOUTS SHALL DISCHARGE AT GRADE OR BE PIPE UNDERGROUND TO THE PROPOSED STORMWATER MANAGEMENT FACILITY. FOR DOWNSPOUTS DISCHARGING AT GRADE, G.C. SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS.

FIRE FLOW DATA:

EXISTING FLOW DATA PER TEST PERFORMED BY THE WWA ON 2/8/2023
HYD-11272
STATIC PRESSURE: 135 PSI
FLOW: 1609 GPM @ 104 PSI RESIDUAL
CALCULATED FLOW: 3267 GPM @ 20 PSI RESIDUAL
FIRE FLOW REQUIRED: 2,500 GPM
PROPOSED FIRE HYDRANT: 2,500 GPM AT 31 PSI RESIDUAL

SHADING LEGEND:

	PROPOSED TRUEGRID PERVIOUS PAVEMENT SEE SHEET C11 FOR DETAILS
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED CONCRETE PAVEMENT
	EXISTING ASPHALT PAVEMENT
	EXISTING GRAVEL
	EXISTING CONCRETE



COLONIAL SELF STORAGE

LAYOUT AND UTILITY PLAN

DRAWN BY AAB
DESIGNED BY CPB
CHECKED BY CPB
DATE 4/21/2023
SCALE 1" = 30'
REVISIONS