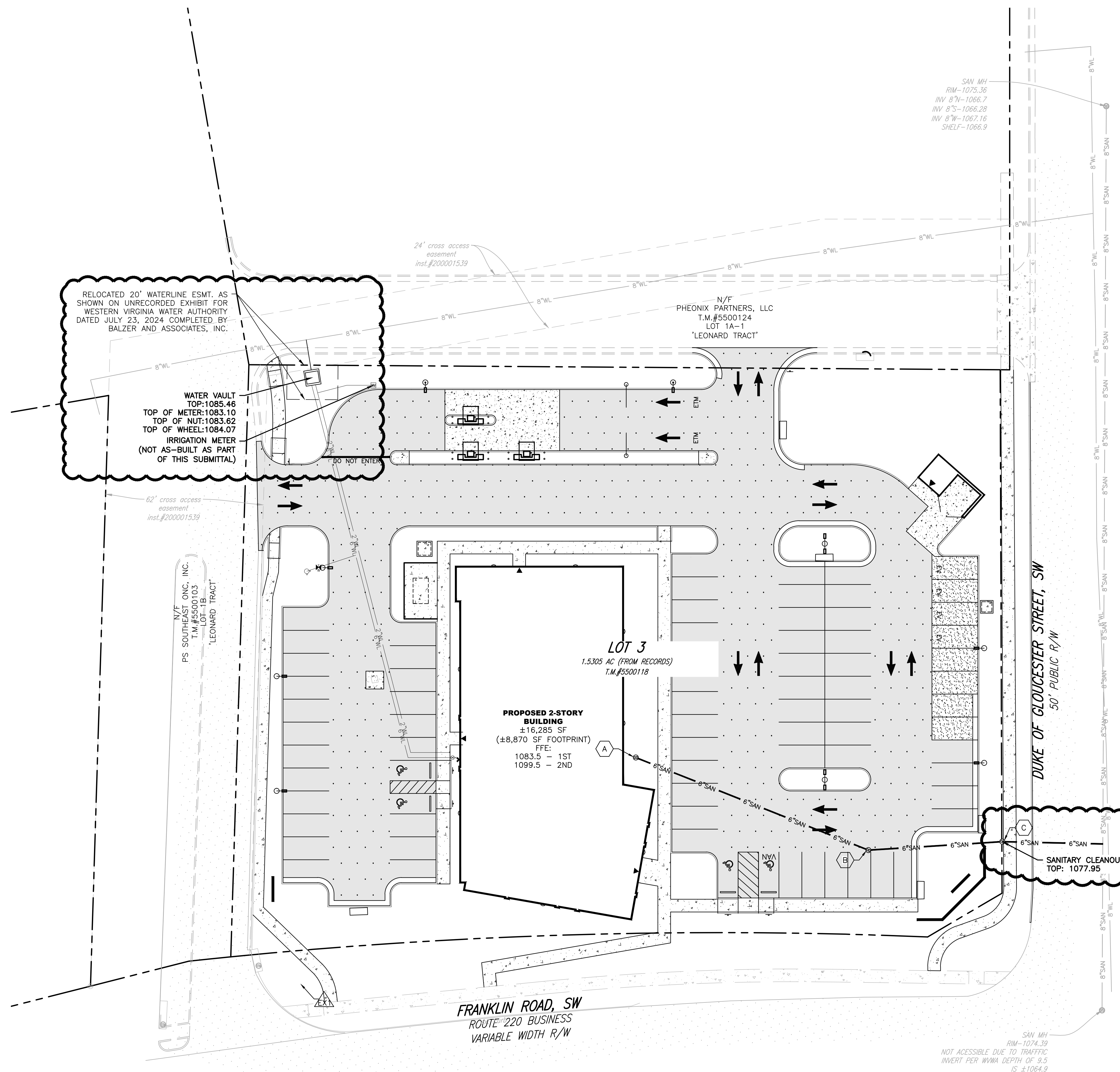
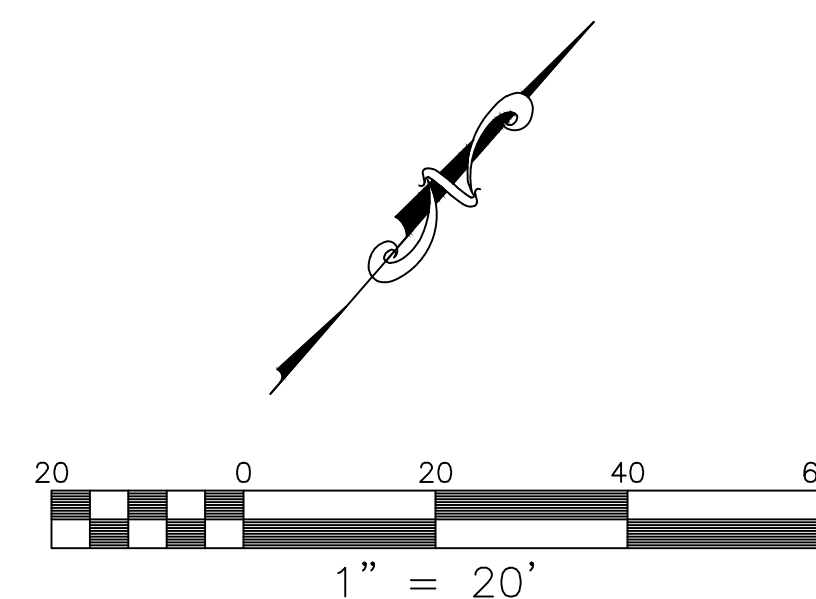


NOTES

1. OWNER OF RECORD: PHOENIX PROPERTIES, LLC
2. LEGAL REFERENCES: INST.#180007856
3. TAX MAP NUMBERS: 5500118
4. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO INFORMATION WHICH MAY BE DISCLOSED BY SUCH.
5. PROPERTY IS IN F.E.M.A. DEFINED X-UNSHADED ZONE.



AS-BUILT DRAWING NOTE:
AS-BUILT DRAWING FOR SANITARY SEWER AND
WATERLINE IMPROVEMENTS ARE FOR AS-BUILT
PURPOSES ONLY. NO IMPROVEMENTS OTHER
THAN WATER AND SANITARY SEWER STRUCTURES
WERE AS-BUILT OR INDICATED AS SUCH ON THE
SUBJECT PLAN SET. UNDERGROUND PIPING WAS
NOT LOCATED. LOCATION SHOWN IS APPROXIMATE
BASED ON SURFACE FEATURES AND INFORMATION
PROVIDED BY CONTRACTOR.

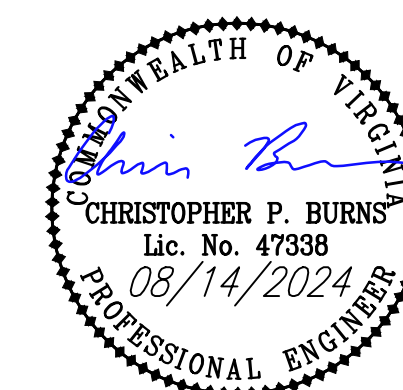


**BALZER
& ASSOCIATES**
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
New River Valley
Shenandoah Valley

www.balzer.cc

1208 Corporate Circle
Roanoke, VA 24018
540.772.9550



RIDGE VIEW BANK
REGIONAL HEADQUARTERS AND ROANOKE BRANCH
WWA AS-BUILT PLAN

DRAWN BY EJP
DESIGNED BY KAM
CHECKED BY CPB
DATE 08/14/2024
SCALE 1" = 20'
REVISIONS

AS-BUILT
PROJECT NO. 04220084.00