

The seal of the County of Roanoke, Virginia, is a circular emblem. It features a profile of a Native American man facing left, wearing a feathered headdress. Behind him is a landscape with a river and a plow. The text "COUNTY OF ROANOKE VIRGINIA" is written around the top inner edge of the circle, and the year "1838" is at the bottom.

1. All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County, the Western Virginia Water Authority, and the Town of Vinton.
2. Stormwater Management Agreements with an attached 8 1/2" x 11" or 8 1/2" x 14" plate must be approved and recorded prior to the pre-construction meeting.
3. Once all required items are submitted to Roanoke County, the developer must contact the Development Review Coordinator to indicate that a pre-construction meeting needs to be scheduled. The pre-construction meeting will be scheduled with the owner/developer two (2) working days later.
4. All land disturbing projects that require approval of an erosion and sediment control plan, grading or clearing permit shall require that the applicant provide the name of an individual who will be responsible for land disturbing activities and that this individual hold a Responsible Land Disturber (RLD) Certificate from the Department of Environmental Quality. The Responsible Land Disturber can be anyone from the Project team that is certified by the Commonwealth of Virginia to be in charge of carrying out the land disturbing activity for the project.
5. It is the responsibility of the owner/developer to notify the certified Responsible Land Disturber and the Utility Contractor to attend the pre-construction meeting.
6. The Development Review Coordinator will schedule the pre-construction meeting with the County Review Engineer, the County Inspector, and the Town of Vinton personnel as applicable.
7. An approved set of plans, Storm Water Pollution Prevention Plan (SWPPP), VSMP coverage letter, and all permits must be available at the construction site at all times.
8. The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
9. The project engineer will inform the owner/developer verbally and in writing of Roanoke County, the Western Virginia Water Authority, the Virginia Department of Transportation, and the Town of Vinton's obligations to perform inspections on site, as applicable. Every one in the meeting will be required to sign a pre-construction checklist indicating their knowledge of all obligations to perform inspections on-site.
10. The Erosion Control Permit or Combined Erosion Control & VSMP Permit is given to the developer at this pre-construction meeting.
11. Notify Roanoke County prior to beginning installation of ESC measures. The County will provide inspections to ensure compliance with approved plan prior to start of grading. The developer SHALL contact the project inspector 24 hours before beginning any grading or construction on the property.
12. County inspectors must inspect storm drain / stormwater management / BMP installations during the process of installation. Please contact the site inspector 24 hours in advance.
13. All work shall be subject to inspection by Roanoke County and the Town of Vinton, as required.
14. Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001 or VA 811.
15. The 100 year Floodway shall be staked prior to any construction.
16. Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer at all times of construction.
17. Roanoke County or Town of Vinton shall be notified when a spring is encountered during construction. In the Town of Vinton all springs shall be capped and piped to the nearest storm sewer or natural watercourse, and the pipe shall be a 6 inch minimum diameter and conform to VDOT standard SB-1, with approval from Town of Vinton.
18. Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site.
19. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets or rights of ways. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
20. Plan approval in no way relieves the developer or contractors of the responsibilities contained within the erosion and sediment control or stormwater management policies.
21. Field construction shall honor proposed drainage divides as shown on plans.
22. Field corrections shall be approved by the Roanoke County and the Town of Vinton, as applicable, and the Professional of Record, prior to such construction.
23. The developer or contractor shall supply Roanoke County and the Town of Vinton, as applicable, with correct AS-Built plans before final acceptance.

1. Plan approval by Roanoke County or Town of Vinton does not guarantee issuance of any permits by the Town of Vinton Public Works Department. .
2. A permit must be obtained from the Town of Vinton Public Works Department prior to construction in the highway right-of-way.
3. The preliminary pavement designs should be based on a predicted sub-grade CBR value of 7.0 and with a Resiliency Factor (RF) of 2.0 as shown in the current edition of the Virginia Department of Transportation Pavement Design Guide for Subdivision and Secondary Roads. The sub-grade soil is to be tested by an independent laboratory and the results submitted to the Town of Vinton prior to base construction. Should the sub-grade CBR value and/or the RF value be less than the predicted values, additional base material will be required in accordance with Departmental specifications. Additional to the same manual as the number and locations of the required soil samples to be tested. All pavement designs shall be submitted to the Town for review and approval. The sub-grade shall be approved by the Town of Vinton prior to placement of the base. Base shall be approved by the Town of Vinton for depth, template, and compaction before the surface is applied.
4. Standard guardrail with safety end sections may be required on fills or in areas where hazards exist as deemed necessary. After completion of rough grading operations, the Town of Vinton and Virginia Department of Transportation shall be contacted to schedule a field review. Where guard rail is warranted, the standard shoulder width shall be provided and the guard rail shall be installed in accordance with the current edition of the VDOT Road and Bridge Standards as part of this development.
5. Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.
6. All traffic devices shall be in accordance with current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
7. All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

The Project Engineer shall provide electronic copies of the approved plans to the Development Review Coordinator within 5 working days of the pre-construction meeting.

The notes on this sheet shall not be modified.

NAME OF DEVELOPMENT		E. CLEVELAND AVENUE MULTIFAMILY		I, <u>Dawn Bruce</u> , OWNER/DEVELOPER, AM AWARE OF THE SITE DESIGN REQUIREMENTS IMPOSED BY THIS SITE DEVELOPMENT PLAN, ALL REVISIONS THEREOF, AND OTHER APPLICABLE ROANOKE COUNTY AND TOWN OF VINTON CODES AND ORDINANCES.	
MAGISTERIAL DISTRICT(S)		VINTON		I HEREBY CERTIFY THAT I AGREE TO COMPLY WITH THESE REQUIREMENTS SHOWN ON THIS COVER SHEET UNLESS MODIFIED IN ACCORDANCE WITH LOCAL LAW.	
OWNER (name, address, telephone)		CMART HOLDINGS LLC 3825 PARK LN SW ROANOKE, VA 24015			
DEVELOPER (name, address, telephone)		CMART HOLDINGS LLC 3825 PARK LN SW ROANOKE, VA 24015			
ENGINEER, ARCHITECT OR SURVEYOR (name, address, telephone)		BALZER AND ASSOCIATES, INC. 1208 CORPORATE CIRCLE ROANOKE, VA 24018 ATTN: CHRIS BURNS, P.E. 540-772-9580 FAX 540-772-8050			
TAX MAP NO(S)		060.16-08-28.00-0000, 060.16-08-29.00-0000, & 060.16-08-30.00-0000			

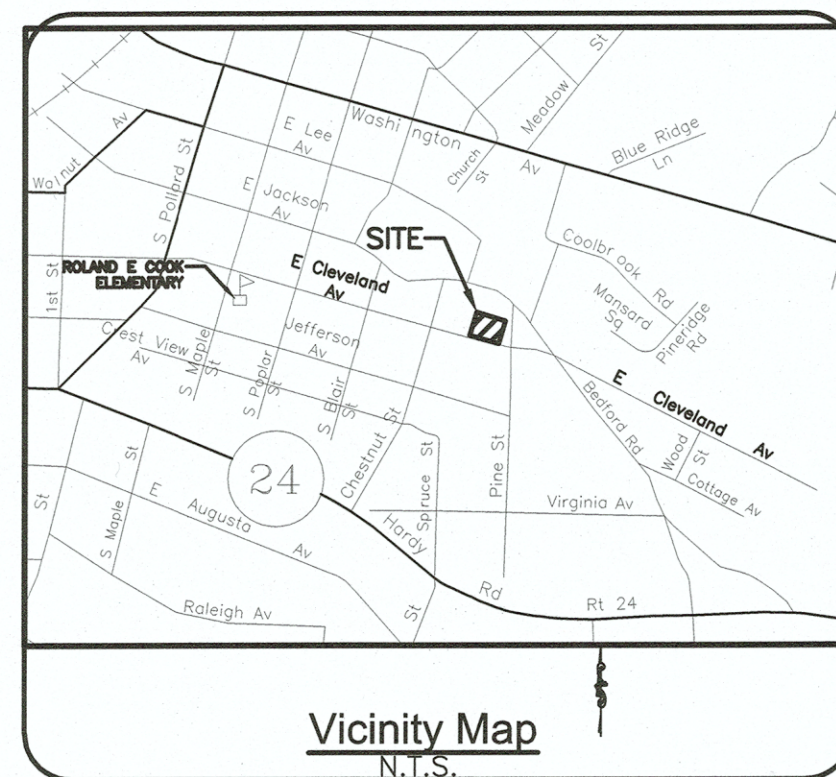
1. All construction methods and materials shall conform to the latest edition of the Western

Underground utilities installed on private property or on private utility easements shall be installed per the current Code (including amendments) Western Virginia Regional Council of Governments shall exceed the USBC requirements as are to be permitted through the Office. Vaults, valves and manholes shall be installed and the WVWA may not be

WVWA INSPECTOR AS-BUILT:

QUENTIN ALLS

11.20.24



Property Line

Right-of-way

Centerline

Minimum Building Line

Existing Storm Sewer

Existing Sanitary Sewer

Existing Water Main

Existing Contour

Proposed Contour

Proposed Drainage Divide

Proposed Limits of Clearing

Proposed Storm Sewer

Proposed Sanitary Sewer

Proposed Water Main

HYDRANT

VALVE

BLOWOFF

24" S.D.

8" M.H.

P

R/W

CL

MBL

MBL

SD

SD

SS

SS

W

W

1045

1045

24" S.D.

8" M.H.

QUANTITY & COST ESTIMATE					
ITEM	QUANTITY	UNIT	UNIT PRICE	COST	BONDABLE
CLEARING AND GRUBBING		AC			
EARTHWORK		C.Y.			
		C.Y.			
BOX CULVERT					
PAVED DITCH					
RIPRAP - CLASS					
SODDED SWALE					
-IN. CONCRETE ENDWALL EW-					
ASPHALT PAVEMENT SECTION	627	SY	\$20.00		\$12,540.00
CURB CG-2	70	LF	\$12.00		\$840.00
GRAVEL SHOULDER		SY			
SURFACE TREATMENT		SY			
-IN. BIT. CONC.: TYPE B-		SY			
-IN. BIT. CONC.: TYPE S-		SY			
-IN. BASE MATERIAL		C.Y.			
-IN. SUBBASE MATERIAL		C.Y.			
		EA			
COMMERCIAL WATER SERVICE - SINGLE	1	EA	\$1,500.00		\$1,500.00
SANITARY SEWER LATERAL - SINGLE	1	EA	\$1,500.00		\$1,500.00
		LS			
		LS			
		LS			
AS-BUILT PLANS - WATER & SANITARY SEWER	1	LS	\$1,000.00		\$1,000.00
SUB-TOTAL					\$17,380
10% CONTINGENCY					\$1,738
ESTIMATED TOTAL					\$19,118
BY SEALING THE PLANS, THE DESIGN PROFESSIONAL HEREBY CERTIFIES THAT THE FOREGOING ESTIMATE REFLECTS THE CURRENT IMPROVEMENT COSTS OF THIS PROJECT.					

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Roanoke / Richmond
New River Valley / Staunton
Harrisonburg / Lynchburg

1208 Corporate Circle
Roanoke, VA 24018
540.772.9580

2/21/2024



PLAN APPROVED
Denise Sander
REVIEW COORDINATOR, 2/28/2024

E. CLEVELAND AVENUE MULTIFAMILY

**528 E CLEVELAND AVE
VINTON, VIRGINIA 24179**

C1

JOB No.: 04220103.00

SITE SUMMARY

SITE ADDRESS: 522, 528 E CLEVELAND AVE
VINTON, VA 24179

OWNER: CMART HOLDINGS LLC

OWNER ADDRESS: 3825 PARK LN SW
ROANOKE VA, 24015

TAX MAP NUMBER, EXISTING LOT SIZE, AND ZONING:

060.16-08-28.00-0000	- GB - GENERAL BUSINESS DISTRICT
060.16-08-29.00-0000	- GB - GENERAL BUSINESS DISTRICT
060.16-08-30.00-0000	- GB - GENERAL BUSINESS DISTRICT

PROPOSED USE: MIXED-USE BUILDING
(MULTI-FAMILY DWELLINGS AND COMMERCIAL UNIT)

PROPOSED USE GROUPS: B/R-2

DISTURBED AREA: ±0.40 AC.

ZONING REQUIREMENTS GB - GENERAL BUSINESS DISTRICT:

MINIMUM LOT AREA: NO MINIMUM

MINIMUM LOT WIDTH: NO MINIMUM

SETBACKS:

FRONT:	20' MINIMUM
SIDE:	NO MINIMUM
REAR:	NO MINIMUM

MAXIMUM BUILDING HEIGHT: 35 FT. (BUILDING OR STRUCTURE SITUATED WITHIN 100 FEET OF PROPERTY LOCATED IN A RESIDENTIAL OR R-B DISTRICT)

EXISTING BUILDING HEIGHT: 18.5'

MAXIMUM LOT COVERAGE: NO MAXIMUM

REQUIRED PARKING: MULTIFAMILY
7 DWELLING UNITS * 1.5 SPACES/UNIT (DWELLING UNIT IN GB DISTRICT WITH NONRESIDENTIAL USE)
REQUIRED = 11 SPACES

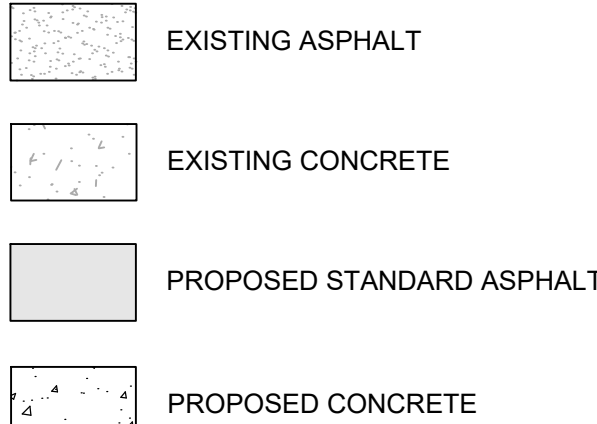
COMMERCIAL
1,160 SF / 300 SF OF OFFICE SPACE
REQUIRED = 4 PARKING SPACES

REDUCTION (SEC. 6-32.C)
120 LF FRONTAGE / 20 LF = 6 ON-STREET PARKING SPACES

TOTAL OFF-STREET REQUIRED = 11 (MULTIFAMILY) + 4 (COMMERCIAL) - 6 ON-STREET (REDUCTION) = 9 SPACES REQUIRED

TOTAL PROVIDED = 11 SPACES OFF STREET INCLUDING 2 H.C. SPACES (7 SPACES TO BE UTILIZED BY THE MULTIFAMILY DWELLINGS AND 2 SPACES TO BE UTILIZED BY THE COMMERCIAL UNIT)

SHADING LEGEND:



FIRE FLOW DATA:

EXISTING FLOW DATA PER TEST PERFORMED BY THE WVWA ON 8/2/2023

HYD-70380
STATIC PRESSURE: 47 PSI
FLOW: 839 GPM @ 34 PSI RESIDUAL
CALCULATED FLOW: 1,245 GPM @ 20 PSI RESIDUAL

FIRE FLOW REQUIRED: 2000 GPM
1000 GPM FOR PROVIDED SPRINKLER SYSTEM

NOTE: NO PLANTINGS OR ERECTIONS OF OTHER OBSTRUCTIONS SHALL BE MADE WITHIN A FOUR-FOOT RADIUS OF ANY FIRE HYDRANT, OR AT ANY LOCATION THAT WOULD RESTRICT ACCESS TO THE FIRE HYDRANT FROM THE STREET. THE GROUND SURFACE WITHIN THIS SAME RADIUS SHALL BE LEVEL.

DEMOLITION NOTES

DEMOLITION SHALL INCLUDE, UNLESS OTHERWISE NOTED ON DRAWINGS, REMOVAL OF EXISTING OBJECTS OR IMPROVEMENTS, WHETHER INDICATED ON THE DRAWINGS OR NOT, THAT WOULD IN THE OPINION OF THE OWNER, PREVENT OR INTERFERE WITH THE PROGRESS OR COMPLETION OF THE PROPOSED WORK.

PERMITS, FEES AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR, INCLUDING DISPOSAL CHARGES AS REQUIRED.

WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES IN DEMOLITION OF EXISTING PAVEMENT, CURBS AND GUTTERS, DRAINAGE STRUCTURES AND UTILITIES AS MAY BE REQUIRED.

ALL EXISTING UTILITIES TO ANY BUILDINGS SHOWN TO BE RAZED SHALL BE DISCONNECTED AND PLUGGED OR CAPPED AS REQUIRED BY THE LOCALITY.

CONTRACTOR SHALL SAW-CUT ALL JOINTS WHERE EXISTING CURBING, PAVEMENT AND SIDEWALK IS TO BE DEMOLISHED AND NEW CONSTRUCTION JOINS THE EXISTING. ALL SAW CUTTING SHALL BE TO THE FULL DEPTH OF PAVEMENT.

CONTRACTOR SHALL COMPLETELY FILL BELOW GRADE AREAS AND VOIDS FROM DEMOLITION USING APPROVED SELECT FILL MATERIAL.

ALL EXISTING CURBING, CONCRETE, SIDEWALK, ENTRANCES, ASPHALT, BRICK, AND ANY STRUCTURES THAT ARE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. ALL DEBRIS, ETC. SHALL NOT BE USED AS FILL MATERIAL ON THE SITE.

CONTRACTOR SHALL PROVIDE THE FOLLOWING PROTECTIONS AT THE JOB SITE: MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, DISCONNECTION, REROUTING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES AND OTHER UNDERGROUND PIPING, TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF AUTHORITIES OF UTILITIES MENTIONED, SUCH AS OVERHEAD AND UNDERGROUND POWER AND TELEPHONE LINES AND EQUIPMENT, GAS PIPING, STORM SEWERS, SANITARY SEWERS, OR WATER PIPING. CONTRACTOR SHALL NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING AND/OR POLLUTION.

ENSURE SAFE PASSAGE OF PERSONS AROUND ALL AREAS OF DEMOLITION.

CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, OR INJURY TO PERSONS.

PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO THE OWNER.

MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. PREVENT INTERRUPTION OF EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.

USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR TO LOWEST PRACTICAL LEVEL.

TOWN OF VINTON NOTES:

1. ALL EXTERIOR LIGHTING SHALL BE DESIGNED, LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES PER SECTION 5-20 IN THE TOWN OF VINTON CODE OF ORDINANCES.

2. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE AREAS IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS PER SECTION 5-21. HEIGHT OF SCREENING MUST BE A MINIMUM OF (6) FEET.

3. ROOFTOP AND GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED SUCH THAT IT IS NOT VISIBLE FROM SURROUNDING PROPERTIES OR ROADS PER SEC. 6-27(C)(4)

GENERAL SITE NOTES:

1. G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.

2. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, WVWA AND THE TOWN OF VINTON.

3. GENERAL CONTRACTOR TO FIELD VERIFY PAVEMENT TIE IN LOCATIONS/ELEVATIONS AND ENSURE THAT POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING IS MAINTAINED THROUGHOUT THE SITE.

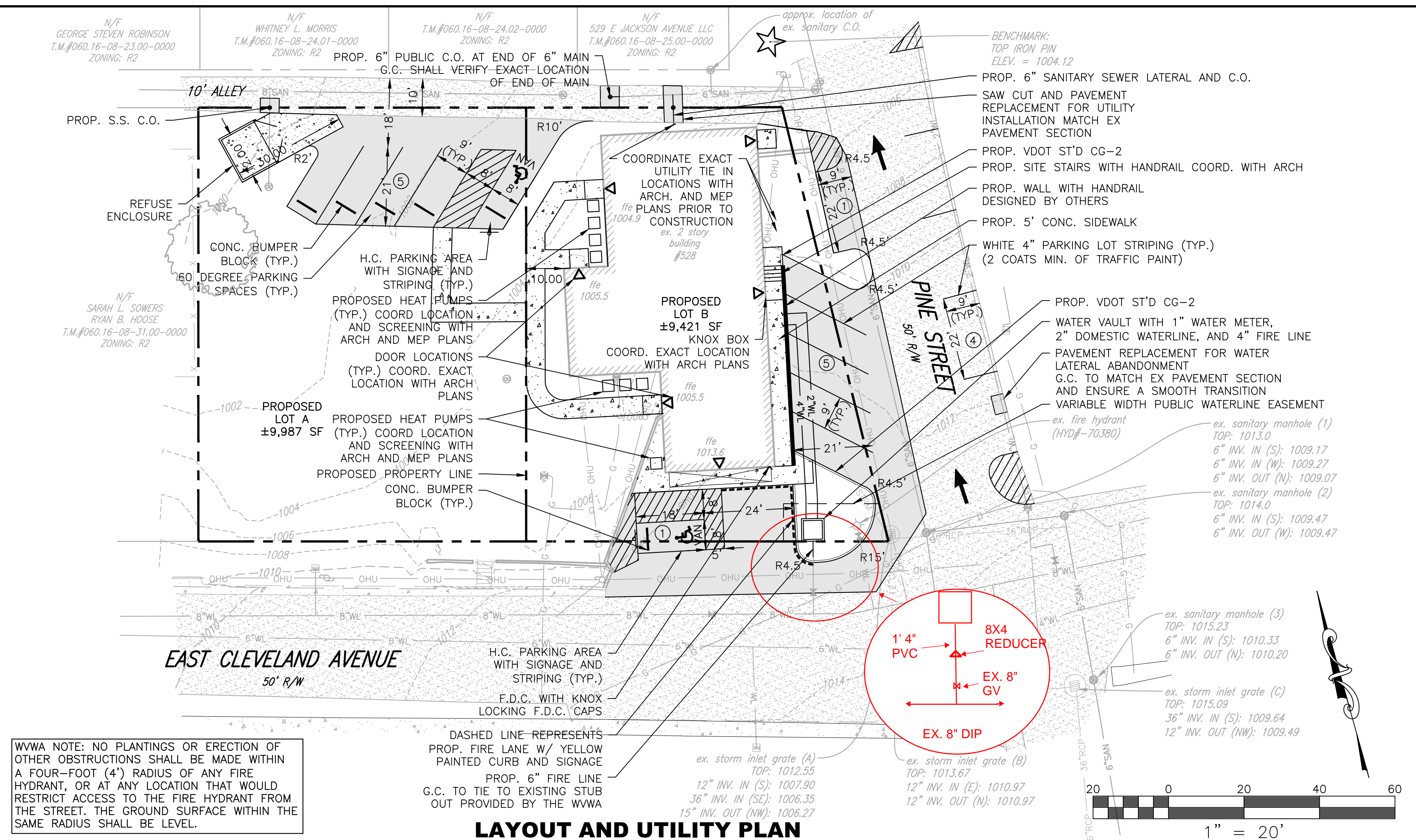
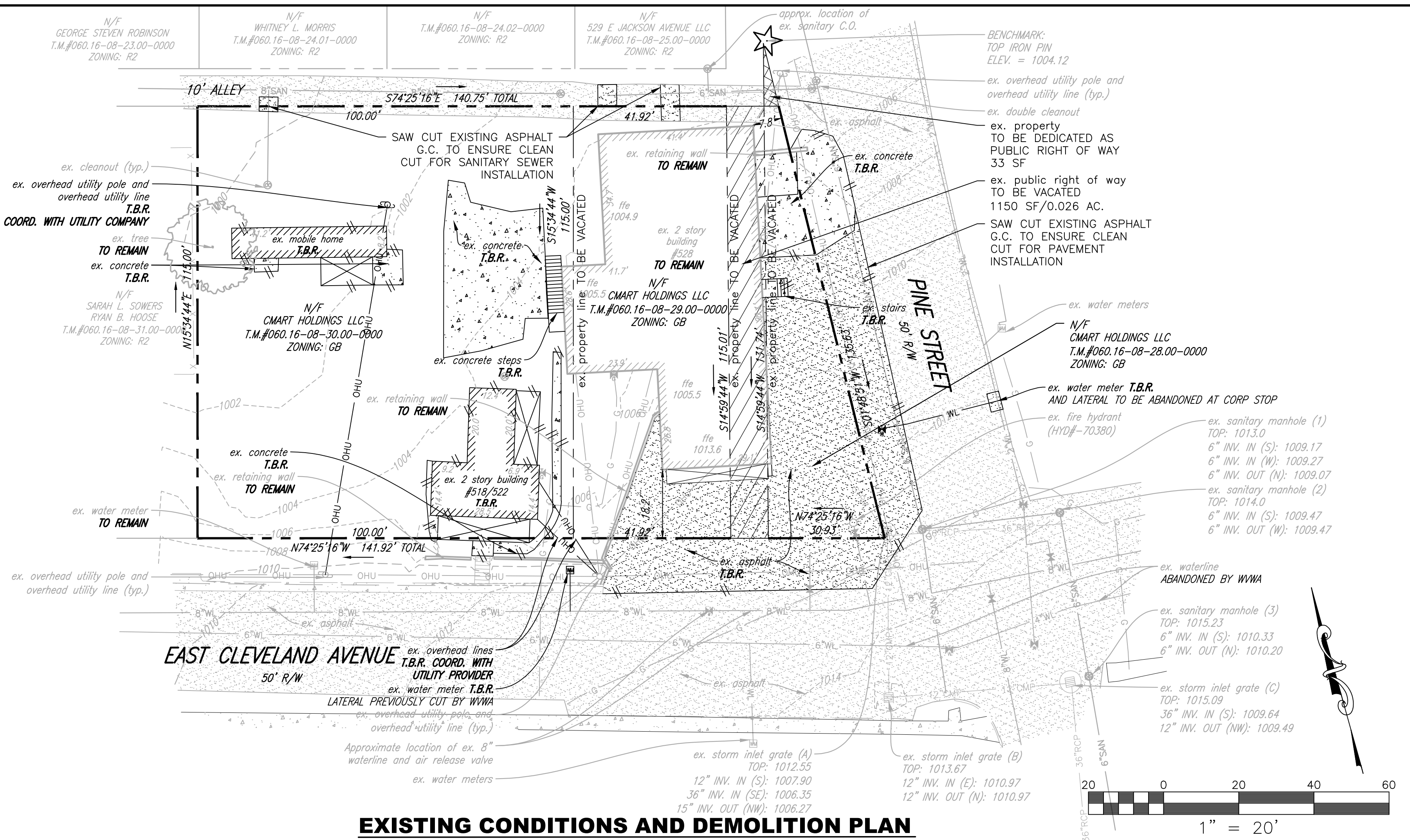
4. ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.

5. ALL BUILDING DIMENSIONS AND UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.

6. G.C. TO PROVIDE ALL REQUIRED CONDUIT FOR EXTERIOR LIGHTING, ELECTRICAL, TELEPHONE, AND COMMUNICATIONS. ALL UTILITIES TO BE INSTALLED UNDERGROUND.

7. G.C. SHALL COORDINATE CONCRETE FINISHING AROUND THE PROPOSED DOOR LOCATIONS WITH THE ARCHITECTURAL PLANS.

8. THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF ALL UTILITIES AND MAKE ALL NECESSARY SCHEDULE ARRANGEMENTS FOR TEMPORARY OR PERMANENT UTILITIES PER THE PROJECT SCHEDULE.

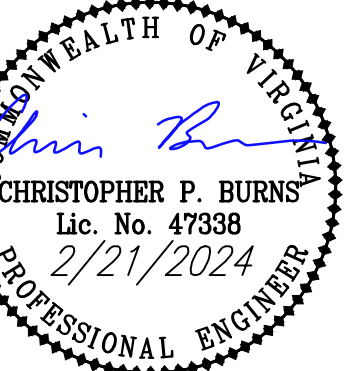


**BALZER
& ASSOCIATES**
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
New River Valley
Shenandoah Valley

www.balzer.cc

1208 Corporate Circle
Roanoke, VA 24018
540.772.9580



E. CLEVELAND AVENUE MULTIFAMILY

EX. CONDITIONS AND DEMOLITION, LAYOUT AND UTILITY PLAN

DRAWN BY: AAB
DESIGNED BY: AAB
CHECKED BY: CPB
DATE: 6/8/2023
SCALE: 1" = 20'
REVISIONS:
8/4/2023
9/8/2023
2/21/2024

C2
PROJECT NO. 04220103.00

APPROVED, 2/28/2024