

**EXISTING CONDITIONS
AND DEMOLITION PLAN**

- SITE SPECIFIC DEMOLITION NOTES:**
- DN-1: CONTRACTOR SHALL REMOVE FAILED GABION WALL.
 - DN-2: CONTRACTOR SHALL REMOVE RIPRAP PORTION SHOWN.
 - DN-3: CONTRACTOR SHALL REMOVE TREES AND SHRUBS NOTED.
 - DN-4: CONTRACTOR SHALL REMOVE PORTION OF GABION WALL NOT YET FAILED.

GENERAL CONSTRUCTION NOTES:

1. The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ± 2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
2. It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
3. The contractor shall be responsible for obtaining all necessary permits before beginning construction.
4. Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
5. Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
6. Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
7. Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing mapping.
8. Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
9. An approved set of plans and all permits must be available at the construction site.
10. All unsuitable material shall be removed from the construction limits before placing embankment.
11. Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
12. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
13. Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.

SURVEYOR NOTES:

1. THIS PLAN WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND IS SUBJECT THERETO. THEREFORE, THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON.
2. THE SUBJECT PROPERTY IS WITHIN THE LIMITS OF ZONE "AE" & "X" AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP 51161C0143 G, EFFECTIVE DATE OF SEPTEMBER 28, 2007. THIS DETERMINATION IS BASED ON SAID MAP AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS.
2. 3. THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF ALAN CLEMONS, FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON SEPTEMBER 12, 2013 AND OCTOBER 2, 2013 AND THAT THIS PLAN, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS THE MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED. VERTICAL DATUM IS NAVD83, BASED ON WYWA MANHOLE PUBLISHED ELEVATIONS. HORIZONTAL DATUM IS MERIDIAN AS NOTED ABOVE.
3. CONTOURS ARE SHOWN AT ONE (1) FOOT INTERVALS. BENCHMARKS ARE SHOWN ON PLAN.
4. UTILITIES SHOWN ARE AS LOCATED IN THE FIELD AND AVAILABLE RECORDS AND SHOULD BE CONSIDERED APPROXIMATE. PARKER DESIGN GROUP DOES NOT WARRANT THE LOCATION OF THE UNDERGROUND UTILITIES.

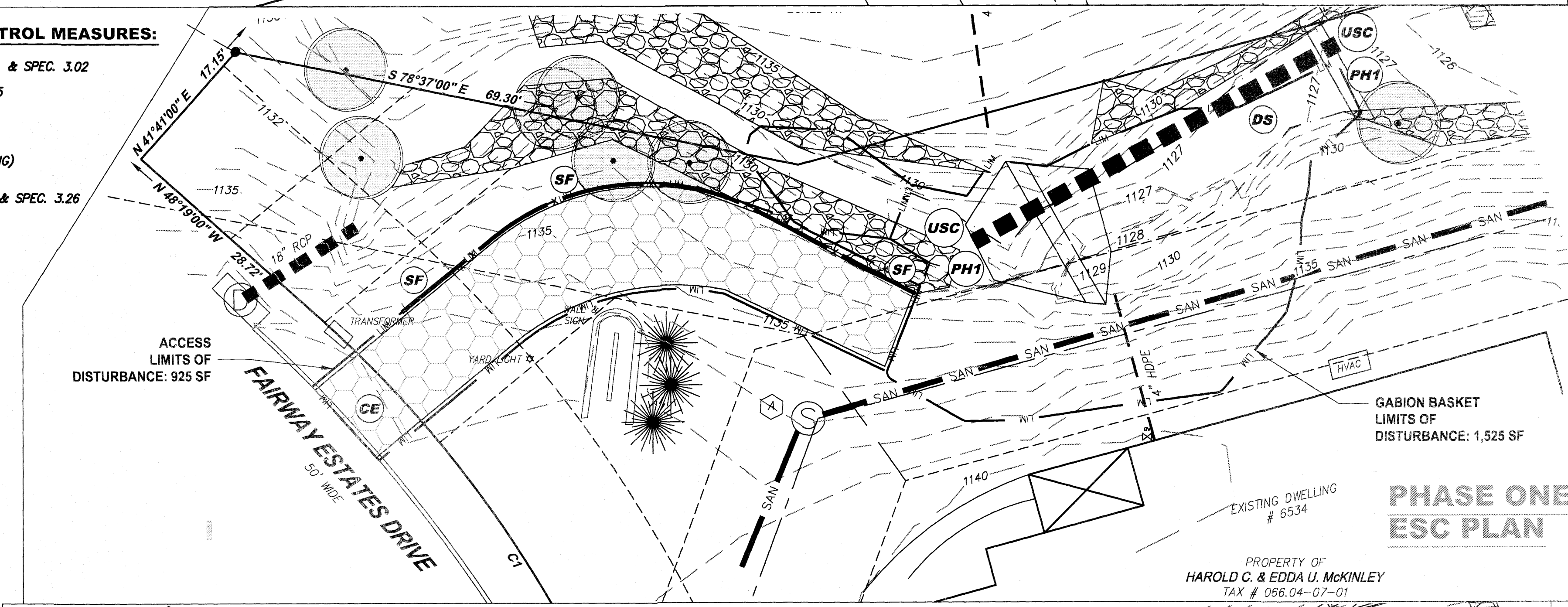
FLOODPLAIN AND FLOODWAY NOTES:

1. THE STREAM BEING REMEDIATED IS BEYOND THE LIMIT OF STUDY BY THE FEMA FLOOD INFORMATION STUDY. THE STREAM DOES HAVE GREATER THAN 100 ACRE DRAINAGE AREA.
2. THE STREAM HAS A DEFINED FLOODWAY AS REFERENCED ON NOTE 10 OF THE SUBDIVISION PLAT, "FAIRWAY FOREST VILLAS", RECORDED IN P.B. 22, PG. 71. THE FLOODWAY IS DEFINED AS 9 FEET WIDE, CENTERED ON THE CHANNEL AND 4.5' EITHER SIDE OF STREAM CHANNEL. THIS REMEDIATION HONORS THE 4.5' FROM THE CHANNEL CENTERLINE, AND PROVIDES ADDITIONAL CROSS SECTIONAL AREA WITHIN THE FLOODWAY. CALCULATIONS SHOW THE FLOOD ELEVATION TO BE LOWERED AT SECTION B (0.23') AND SECTION E (0.63'). SECTION C SHOWS AN INCREASE IN THE FLOOD ELEVATION BY 0.33' AND IS WITHIN THE PARAMETERS ALLOWED BY ROANOKE COUNTY FLOOD ORDINANCE.

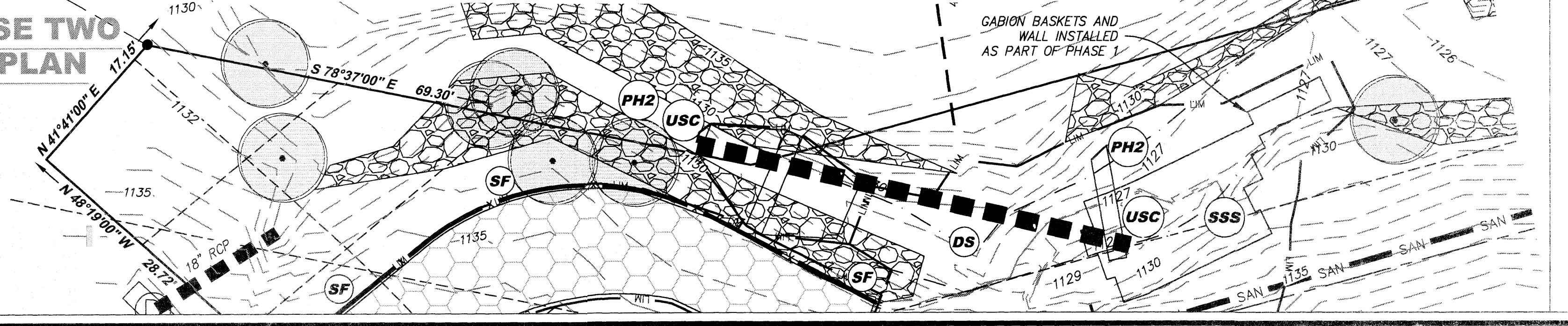
INITIAL EROSION AND SEDIMENT CONTROL MEASURES:

- (CE) CONSTRUCTION ENTRANCE MEETING VA ESCH STD. & SPEC. 3.02
- (SF) SILT FENCE MEETING VA ESCH STD. & SPEC. 3.05
- (SSS) STRUCTURAL STREAMBANK STABILIZATION MEETING VA ESCH STD. & SPEC. 3.23
- (USC) UTILITY STREAM CROSSING (FLUME PIPE CROSSING) MEETING VA ESCH STD. & SPEC. 3.25
- (DS) DEWATERING STRUCTURE MEETING VA ESCH STD. & SPEC. 3.26

**SEE SHEET C03 FOR ESC
PHASED DISCUSSION.**



**PHASE TWO
ESC PLAN**



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Paul J. Brown
PROFESSIONAL ENGINEER
11/14/2013

**Gabion Wall Remediation for
FFV Homeowners' Assoc., Inc
at 6534 Fairway Estates Drive**
Windsor Hills Magisterial District
Roanoke County, Virginia

REVISIONS:

DESIGNED BY: REC/PJB
DRAWN BY: REC/PJB
CHECKED BY: SRB
SCALE: 1"=10'
DATE: 14 November 2013

SHEET TITLE:
Existing Conditions
and Demolition
Plan

C02
02 OF 06
PROJECT NUMBER:
13-0108-04