

# SITE INFORMATION:

OWNER: 711 POCAHONTAS LLC  
824 MUSE RD  
FINCASTLE, VA 24090

AGENT: BALZER AND ASSOCIATES, INC.  
1208 CORPORATE CIRCLE  
ROANOKE, VIRGINIA 24018  
Phone: (540) 772-9580  
Contact: BEN CREW

PROPERTY ADDRESS: 711 POCAHONTAS AVE NE

USE: MICRODISTILLERY

ZONING: I1 - LIGHT INDUSTRIAL

TAX PARCEL NO.: 3041901

TOTAL SITE AREA: 0.557 AC.

DISTURBED AREA: 750 SF

WATER/SANITARY SEWER: PUBLIC

BUILDING AREA/NO. OF STORIES: EX. BLDG A - 2,100 SF (1-STORY)  
EX. BLDG B - 2,500 SF (1-STORY)

PARKING REQUIRED: INDUSTRIAL USE - 1 SPACE/1,000 SF BLDG. AREA  
4,600 SF BLDG AREA/1,000 = 5 SPACES REQUIRED

PROVIDED PARKING: 6 SPACES INCLUDING 1 H.C. SPACE

SETBACKS: FRONT: 0' MIN/NO MAX  
SIDE: 0' MIN  
REAR: 0' MIN

IMPERVIOUS SURFACE RATIO ALLOWED: 90%

MAX. BUILDING HEIGHT: NONE

## GENERAL SITE NOTES:

- G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER AND CITY OF ROANOKE PLANNING, BUILDING, AND DEVELOPMENT DEPARTMENT.
- GENERAL CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
- ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
- G.C. SHALL CONTACT MISS UTILITY TO VERIFY & CONFIRM EXISTING UTILITIES PRIOR TO CONSTRUCTION.

## STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS:

NOTICE TO ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS: FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

**RIGHT-OF-WAY EXCAVATION PERMIT:** PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

**LAND DISTURBANCE PERMIT:** AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.

**PLANS AND PERMITS:** A COPY OF THE PLANS AS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

**LOCATION OF UTILITIES:** THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

**CONSTRUCTION ENTRANCE:** THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.

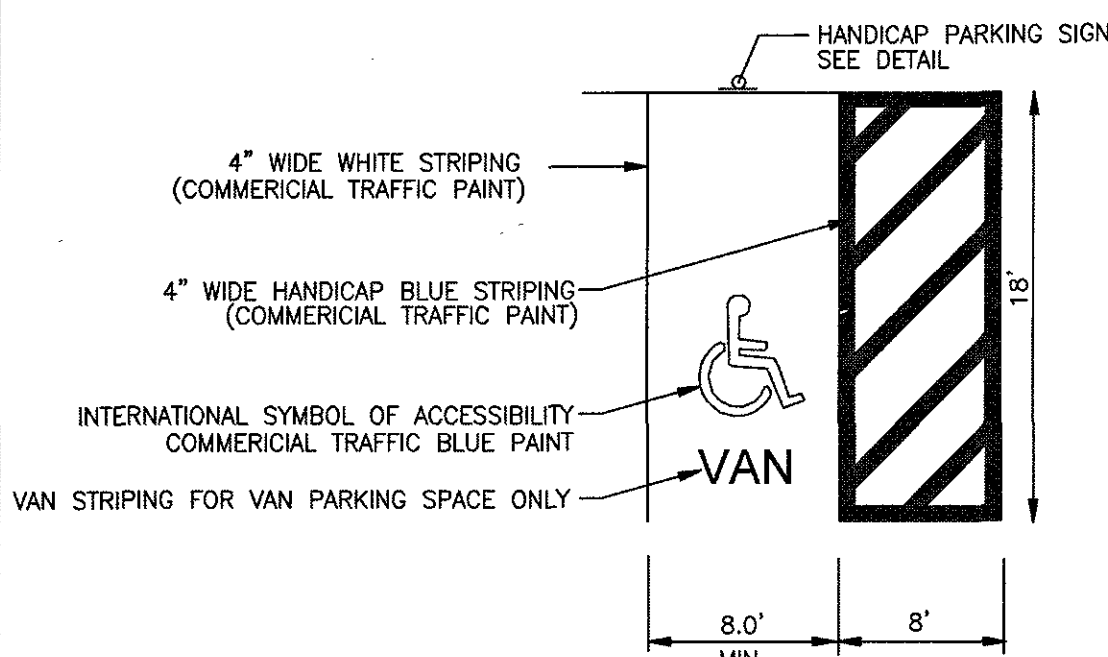
**STREETS TO REMAIN CLEAN:** IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

**BARRICADES/DITCHES:** THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

**SEWER AND PAVEMENT REPLACEMENT:** CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.

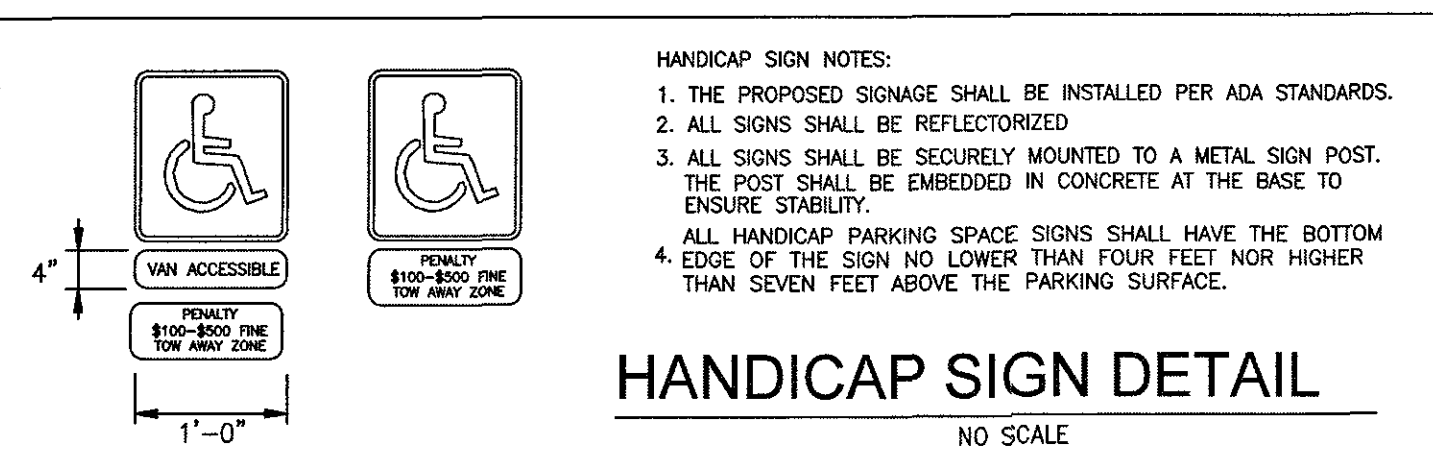
**APPROVED PLANS/CONSTRUCTION CHANGES:** ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

**FINAL ACCEPTANCE/CITY:** THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.



## H.C. STALL STRIPING DETAIL

N.T.S.

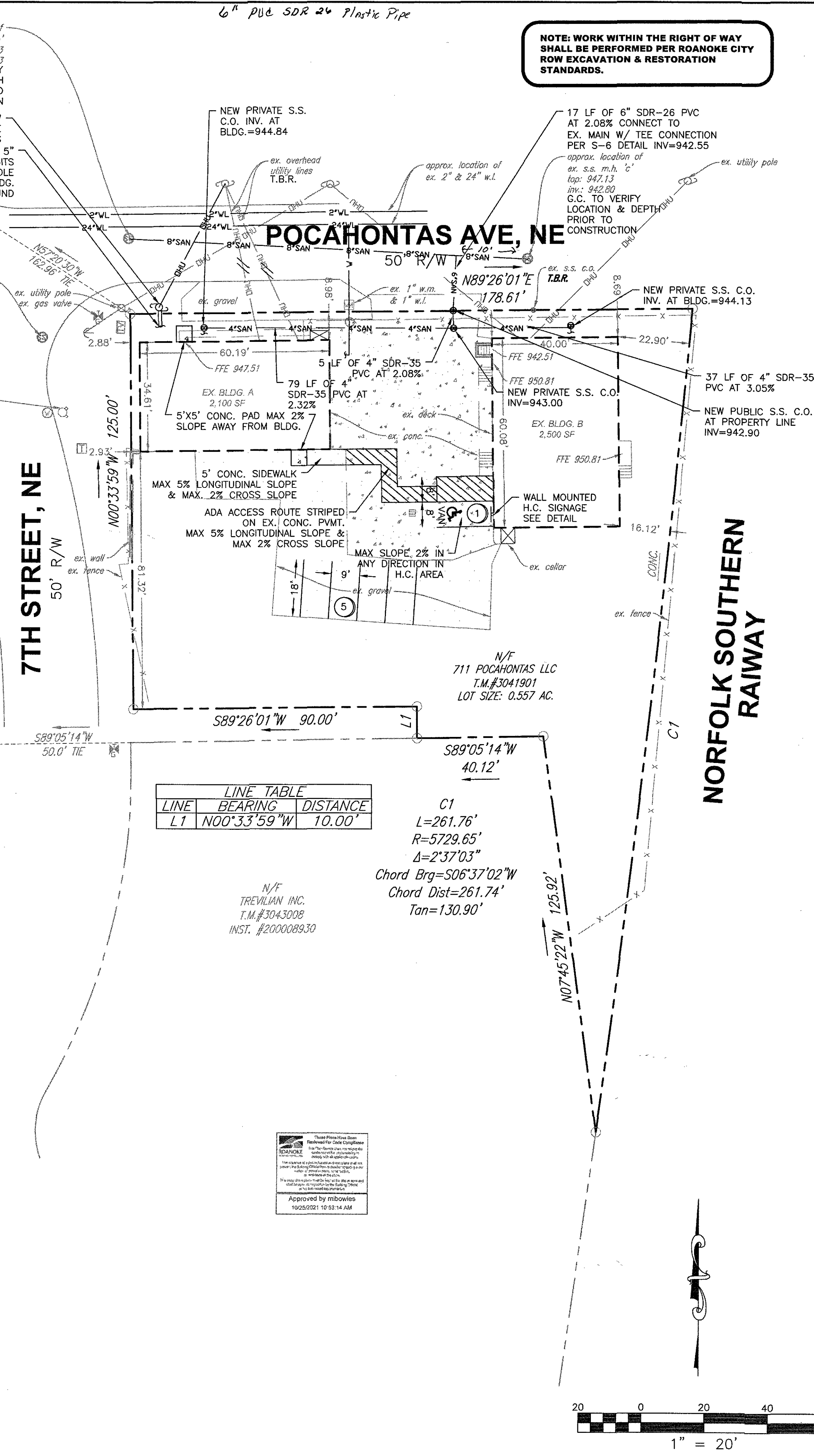
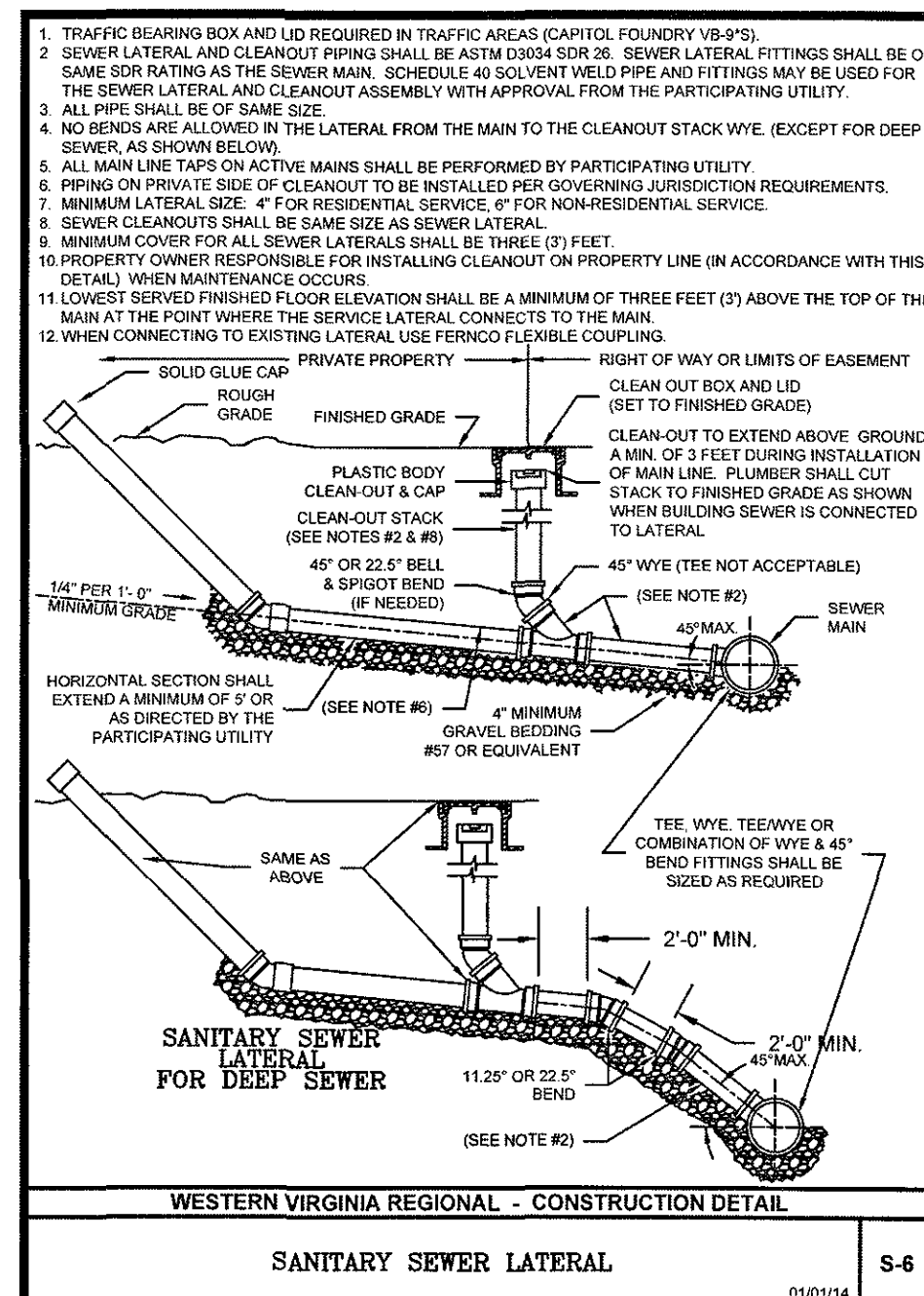


HANDICAP SIGN NOTES:

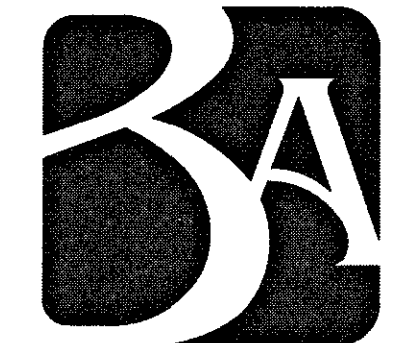
- THE PROPOSED SIGNAGE SHALL BE INSTALLED PER ADA STANDARDS.
- ALL SIGNS SHALL BE REFLECTORIZED.
- ALL SIGNS SHALL BE SECURELY MOUNTED TO A METAL SIGN POST. THE POST SHALL BE EMBEDDED IN CONCRETE AT THE BASE TO ENSURE STABILITY.
- ALL HANDICAP PARKING SPACE SIGNS SHALL HAVE THE BOTTOM EDGE OF THE SIGN NO LOWER THAN FOUR FEET NOR HIGHER THAN SEVEN FEET ABOVE THE PARKING SURFACE.

## HANDICAP SIGN DETAIL

NO SCALE

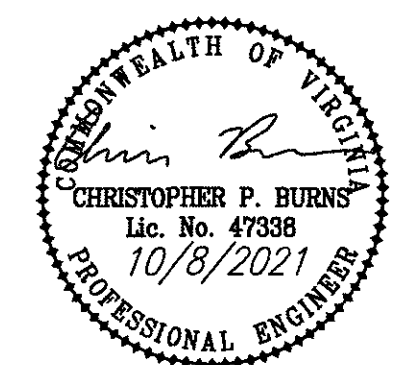


NOTE: WORK WITHIN THE RIGHT OF WAY SHALL BE PERFORMED PER ROANOKE CITY ROW EXCAVATION & RESTORATION STANDARDS.



**BALZER & ASSOCIATES**  
PLANNERS / ARCHITECTS  
ENGINEERS / SURVEYORS

Roanoke / Richmond  
New River Valley / Staunton  
Harrisonburg / Lynchburg  
[www.balzer.cc](http://www.balzer.cc)  
1208 Corporate Circle  
Roanoke, VA 24018  
540.772.9580



BRADY'S DISTILLERY

BASIC DEVELOPMENT PLAN

711 POCAHONTAS AVENUE NW  
ROANOKE, VIRGINIA

DRAWN BY SMD  
DESIGNED BY BTC  
CHECKED BY BTC  
DATE 5/4/2021  
SCALE 1" = 20'  
REVISIONS  
6/1/2021  
10/1/2021  
10/8/2021

**EX-A**  
PROJECT NO. 03210017.00

my p.5 - Bu. Hs  
12/17/2021  
Mark Smith