

GENERAL NOTES

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF ROANOKE ENGINEERING DIVISION IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- A. INSTALLATION OF APPROVED EROSION CONTROL DEVICES.
- B. CLEARING AND GRUBBING.
- C. SUBGRADE EXCAVATION.

MEASURES TO CONTROL EROSION AND SILTATION MUST BE PROVIDED FOR PRIOR TO PLAN APPROVAL. PLAN APPROVAL IN NO WAY RELIEVES THE DEVELOPER OR CONTRACTOR OF THE RESPONSIBILITIES CONTAINED IN EROSION AND SILTATION CONTROL POLICIES.

FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE JOB SITE.

CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED ON-SITE.

THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.

CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO, BUT NOT MORE THAN TEN WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THROUGH MISS UTILITY AT (800) 552-7001.

ALL WORK SHALL BE SUBJECT TO INSPECTION BY CITY OF ROANOKE INSPECTORS.

LOCATION OF UNDERGROUND UTILITIES IS BASED ON FIELD SURVEY BY CWA.

THE SITE WORK AND LANDSCAPING CONTRACTOR(S) SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES, BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA UNIFORM CODING SYSTEM CONTAINED IN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, FOR DETAILS AND SPECIFICATIONS OF EROSION CONTROL ITEMS SHOWN ON THESE PLANS.

THE CONTRACTOR IS REQUIRED TO INFORM THE CITY OF ROANOKE ENGINEERING DEPARTMENT OF THE LOCATION(S) OF OFF-SITE BORROW OR WASTE AREAS. A SOIL EROSION CONTROL PERMIT MAY BE REQUIRED FOR THESE OFF-SITE AREAS.

ANY DEMOLITION OF EXISTING IMPROVEMENTS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH CITY OF ROANOKE REQUIREMENTS AND CODES.

ALL MATERIAL HAULING AND DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS PERTAINING THERETO.

ALL REQUIRED PERMITS ARE TO BE OBTAINED BY THE CONTRACTOR.

ENGINEER'S NOTES

CALDWELL WHITE ASSOCIATES ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

CALDWELL WHITE ASSOCIATES DOES NOT GUARANTEE THE COMPLETION OR QUALITY OF PERFORMANCE OF THE CONTRACTS OR THE COMPLETION OR QUALITY OF PERFORMANCE OF CONTRACTS BY SUBCONTRACTORS OR OTHER THIRD PARTIES.

SOURCE OF BOUNDARY AND TOPOGRAPHIC MAPPING IS CALDWELL WHITE ASSOCIATES, DATED MARCH 30, 2000

THE SUBJECT PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP PANEL 51161C0046 D, DATED OCTOBER 15, 1993.

SEWER NOTES

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING ALL MANHOLES AFTER PAVING. MANHOLE TOPS SHALL BE ADJUSTED TO GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

BUILDING CONNECTIONS ARE TO BE MADE WITH A MINIMUM 4" PIPE INSTALLED ON A MINIMUM GRADE OF 1/4 INCH TO 1 FOOT IN THE PUBLIC RIGHT OF WAYS.

LATERALS FROM MANHOLES SHALL BE P.V.C. OR DUCTILE IRON OF SUFFICIENT LENGTH TO PROVIDE TWO (2) FEET OF BEARING ON NATURAL GROUND.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

WATER NOTES

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

CITY INSPECTIONS: TO ENSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRECONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY OF ROANOKE DEPARTMENT OF ZONING AND CODE ENFORCEMENT (540) 853-2344 AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION.

STREET OPENING PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS) A STREET OPENING PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

PLANS AND PERMITS: A COPY OF THE PLANS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION-RELATED EGRESS FROM THE SITE. THE SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE DETERMINED BY THE CITY OF ROANOKE SITE PLAN INSPECTOR.

STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

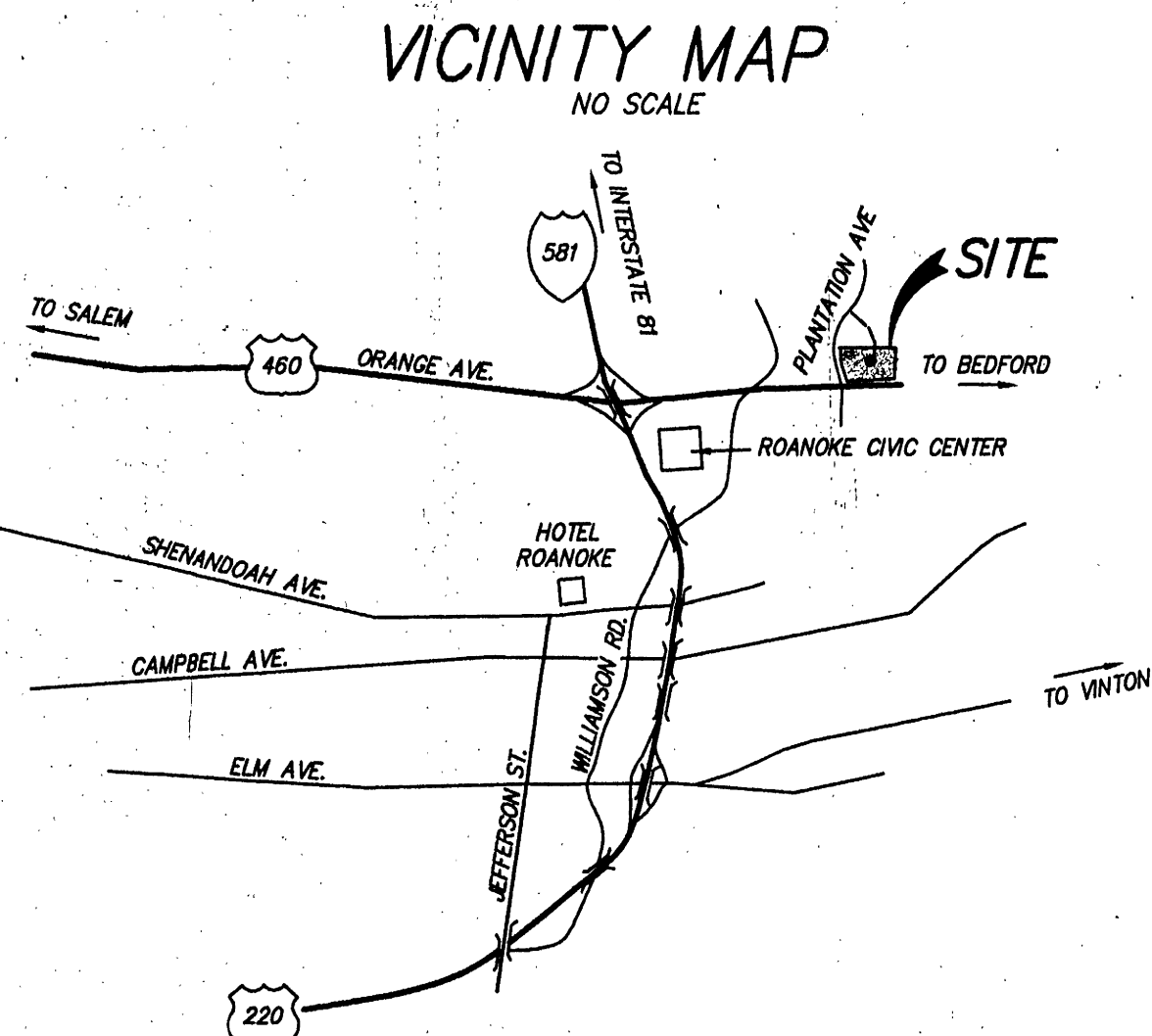
BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.

APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID CHANGES OR VARIATIONS ON CONSTRUCTION BEING MADE.

NOTICE: ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.



REVISIONS				
Designed By	No.	Date	Remarks	By
J.V.J.	1	7/10/00	per CITY OF ROANOKE FIRST REVIEW	J.J.
Drawn By				
J.V.J.				
Date:				
May 26, 2000				
N.O. #				
99-0091				
N.B. #				

SHEET INDEX

SHEET #	TITLE
1	TITLE SHEET
2	SUBDIVISION PLAT
3	OVERALL GRADING PLAN
4	ROAD PLAN & PROFILE
5	SOIL EROSION PLAN
6	SWM DETAILS
7	STANDARD SANITARY SEWER DETAILS
8	STANDARD WATER DETAILS

ANY VARIATION FROM APPROVED PLANS MUST BE APPROVED BY THE CITY OF ROANOKE

LEGEND

ABBREVIATIONS		SYMBOLS	
AFH	ARROW HEAD TOP OF FIRE HYDRANT	MIN	MINIMUM MONUMENT
APPROX	APPROXIMATE	NBL	NORTH BOUND LANE
ASPH	ASPHALT	PROB	PROPOSED
BC	BOTTOM OF CURB	PUE	PUBLIC UTILITY EASEMENT
BIT	BITUMINOUS	PVMT	PAVEMENT
BLDG	BUILDING	R	RADIUS
BLK	BLOCK	RT	RIGHT
BM	BENCHMARK	R/W	RIGHT OF WAY
EW	EDGE OF WALL	RESD	REQUIRED
CB	CINDER BLOCK	RR	RAILROAD
C&G	CURB & GUTTER	RYS	REAR YARD SETBACK
CMP	CORRUGATED METAL PIPE	SAN	SANITARY
CONC	CONCRETE	SBL	SOUTH BOUND LANE
COR	CORNER	SD	STORM DRAIN
DBL	DOUBLE	SECT	SECTION
DEFL	DEFLECTION	SE	SLOPE EASEMENT
DI	DROP INLET	SS	SANITARY SEWER
DIA	DIAMETER	SSE	SANITARY SEWER EASEMENT
DE	DRAINAGE EASEMENT	STA	STATION
EBL	EAST BOUND LANE	STD	STANDARD
ELEC	ELECTRIC	STO	STORAGE
ELEV	ELEVATION	SYS	SIDE YARD SETBACK
ENTR	ENTRANCE	TEM	TEMPORARY BENCHMARK
EP	EDGE OF PAVEMENT	TEL	TELEPHONE
EW	ENDWALL	TRANS	TRANSFORMER
EXIST	EXISTING	TW	TOP OF WALL
FDN	FOUNDATION	TYP	TYPICAL
FF	FINISHED FLOOR	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
FG	FINISH GRADE	VERT	VERTICAL
HPT	HIGH POINT	NBL	NORTH BOUND LANE
INV	INVERT	YD	YARD
IP	IRON PIN		
LT	LEFT		
NBL	NORTH BOUND LANE		
MH	MANHOLE		

Name of Site Plan 7th STREET, NE EXTENSION

Location PORTION OF EXISTING UNIMPROVED 7th STREET LOCATED OFF OF PLANTATION ROAD CITY OF ROANOKE, VIRGINIA

Owner ROANOKE INVESTMENTS ASSOCIATED, INC 3313 PLANTATION ROAD, NE ROANOKE, VIRGINIA 24012 ATTN: MR. JOHN WHITTLE PHONE: (540) 563-0567

Contractor Subject to Bid

City of Roanoke Tax Parcel --- 3043005

DEVELOPMENT PLAN APPROVED

Agent, Planning Commission [Signature] Date 7/13/00

Development Engineer [Signature] 7/13/00

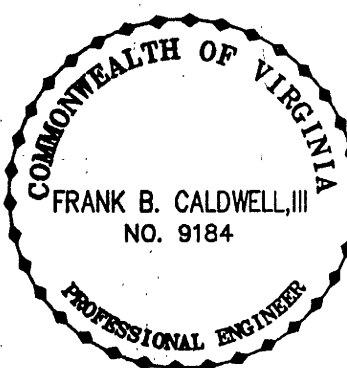
Zoning Administrator [Signature] 7/20/00

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

RECEIVED

JUL 11 2000

CITY OF ROANOKE DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT



CWA CALDWELL WHITE ASSOCIATES ENGINEERS / SURVEYORS / PLANNERS 1054 OLD COUNTRY CLUB ROAD P.O. BOX 6340 ROANOKE, VIRGINIA 24017 (540) 342-7094 FAX: (540) 981-0699