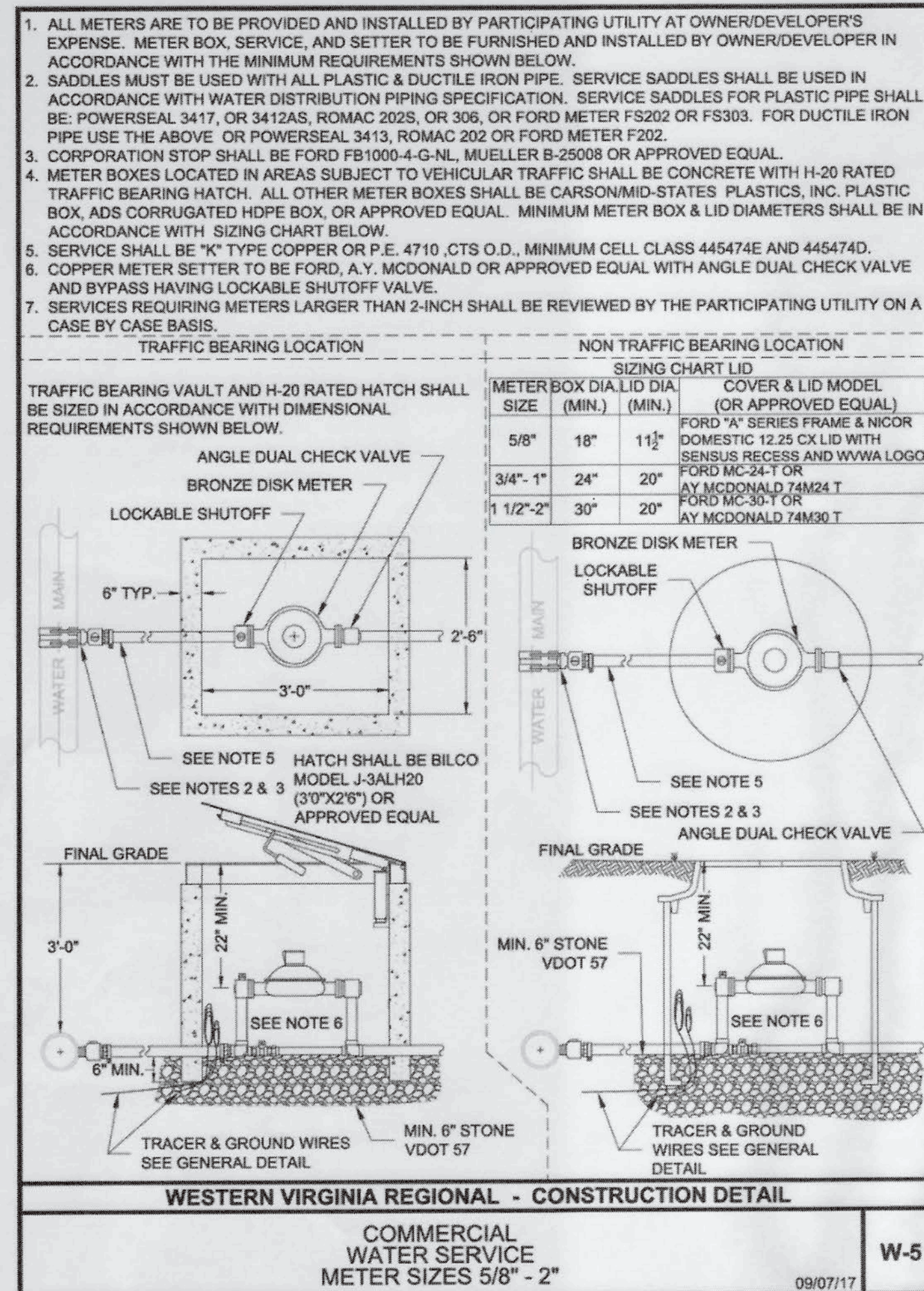


X:\Chris\829 Salem Ave\Arch\A002.DWG, Plotted By: cvenable, Plotted: Dec 02, 2021 - 2:32pm



## SITE PLAN NOTES

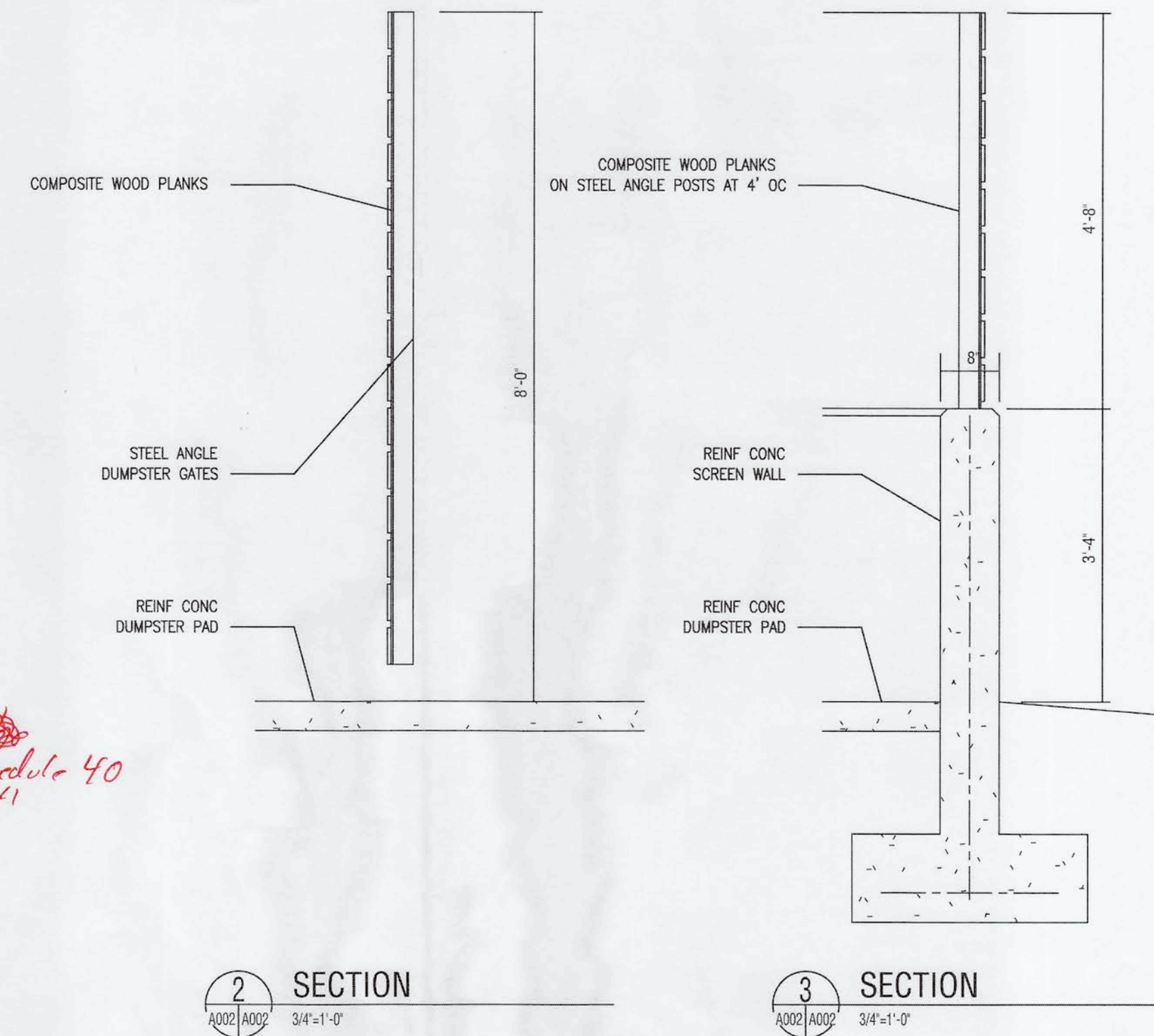
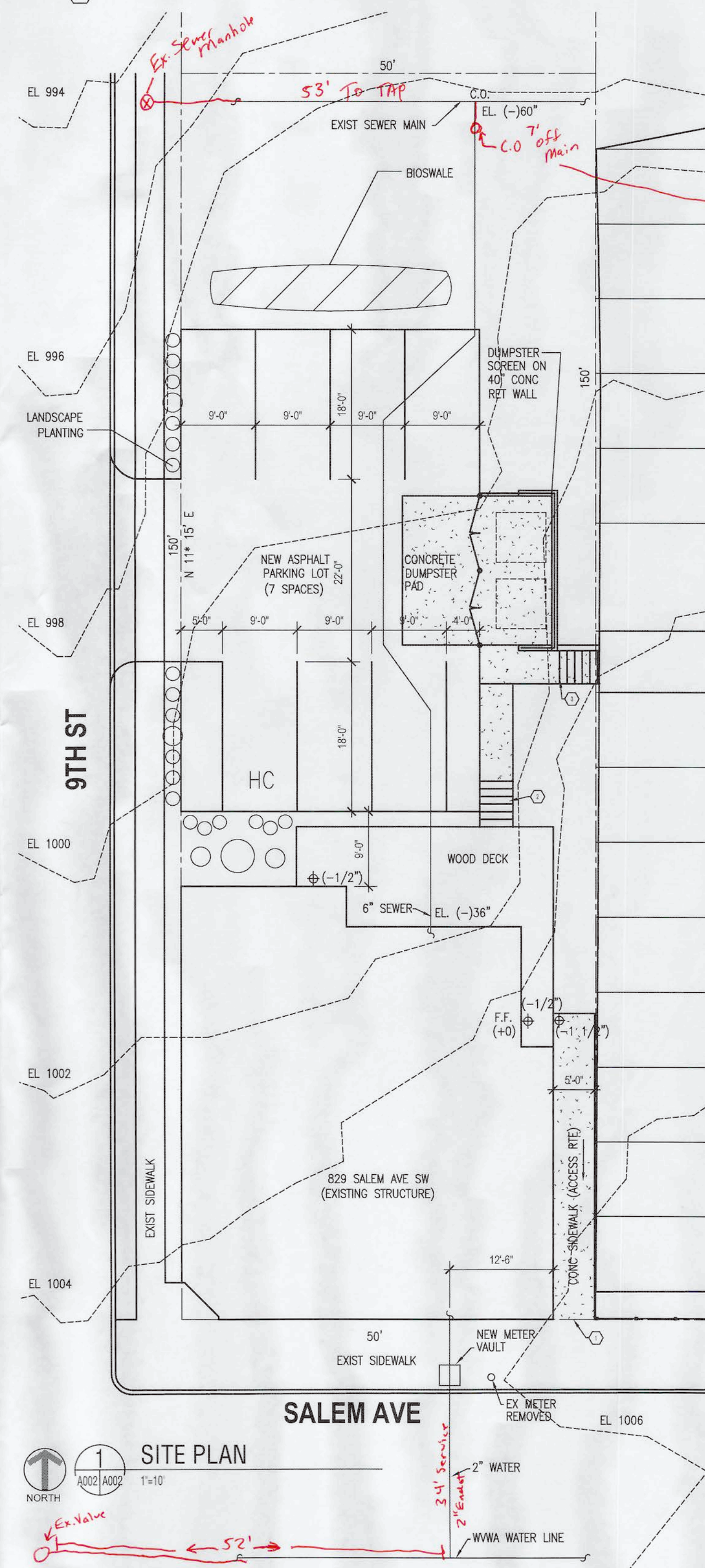
TAX NO: 1111009  
ADDRESS: 829 SALEM AVE SW  
PROPERTY AREA: 0.1724 AC  
LAND DISTURBANCE:  
ACTUAL AREA DISTURBED = 2,371 SF  
( $< 2500$  SF)  
PROPOSED BUILDING AND GROUND-MOUNTED MECHANICAL EQUIPMENT WILL BE SCREENED IN ACCORDANCE WITH TABLE 647-1

## KEYNOTES

- ELEVATION TO ALIGN WITH EXISTING SIDEWALK
- WOOD STAIR WITH HANDRAILS
- CONCRETE STAIR WITH HANDRAILS

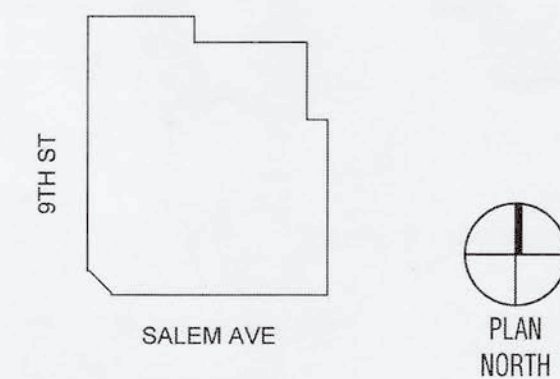
## REQUIRED PARKING

REQUIRED PARKING SPACES (ARTICLE 6)  
COMMERCIAL LEASE SPACE  
36.2-6.52 E) 1ST 4,000 SQUARE FEET OF NET FLOOR AREA OF THE USE MAY BE REDUCED TO TWO (2) SPACES.  
AREA = 1,574 SF  
REQUIRED = 2 SPACES.  
RESIDENTIAL UNITS  
TABLE 652-2 MULTI-FAMILY OTHER THAN ELDERLY = 0.667 PER UNIT NO OF UNITS = 4 REQUIRED = 3 SPACES  
TOTAL REQUIRED PARKING SPACES = 5  
TOTAL PROVIDED = 7



Material - Sewer - Sch.40 6"  
Water - 2" polyflex Endot PE  
2" Special setter with extra Valve  
Contractor: Jay Bush  
Inspector: Brian Whitenuch - WVWA

## KEY PLAN



## GENERAL NOTES

## SHEET NOTES

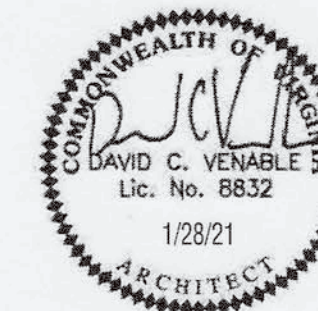


SPECTRUM DESIGN  
architects | engineers

10 CHURCH AVE SE, PLAZA SUITE 1 ROANOKE, VIRGINIA 24011 540.342.6001

## RENOVATIONS TO 829 SALEM AVE ROANOKE, VA

SPECTRUM DESIGN PROJECT NO. ----



DATE 28 JAN 2021  
DESIGN ARCHITECT DCV  
PROJECT ARCHITECT DCV  
PROJECT ENGINEER DCV  
CHECKED BY DCV  
DRAWN BY DCV  
REVISIONS NUMBER DATE  
BLDG DEPT REV 1 3/16/21  
BLDG DEPT REV 2 4/16/21  
BLDG DEPT REV 3 5/7/21  
ZONING DEPT REV 4 6/18/21  
ZONING DEPT REV 5 7/14/21

SHEET TITLE

SITE PLAN

A002

AS-BUILT 12/2/21