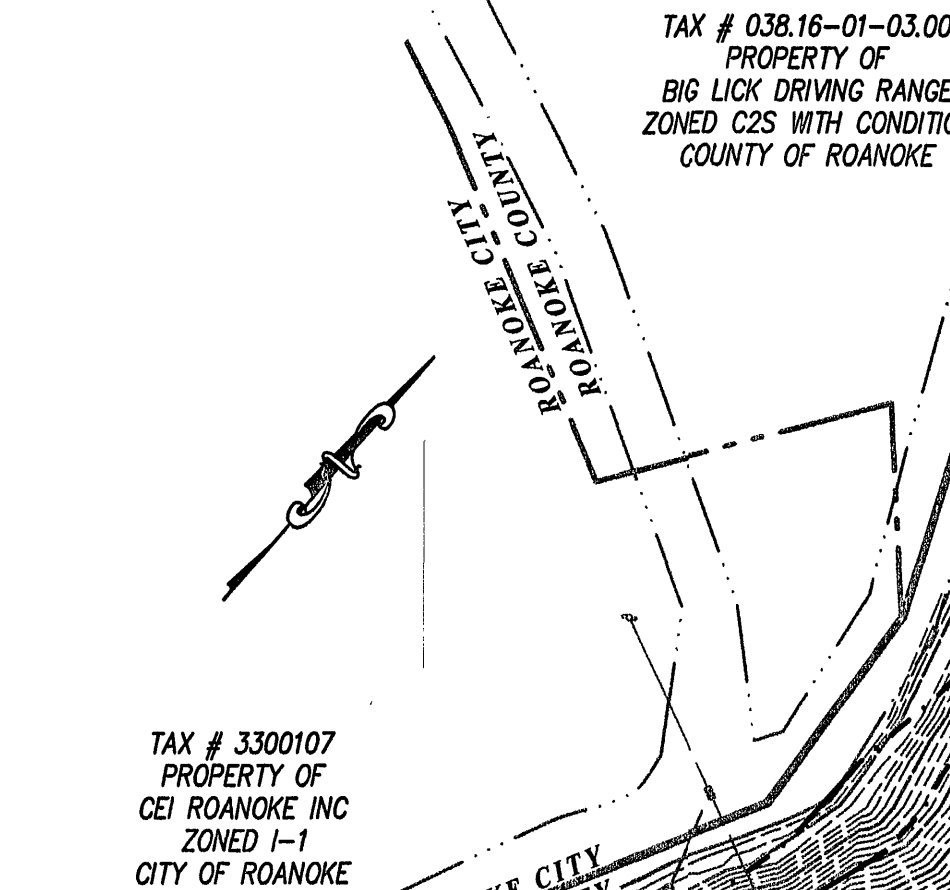
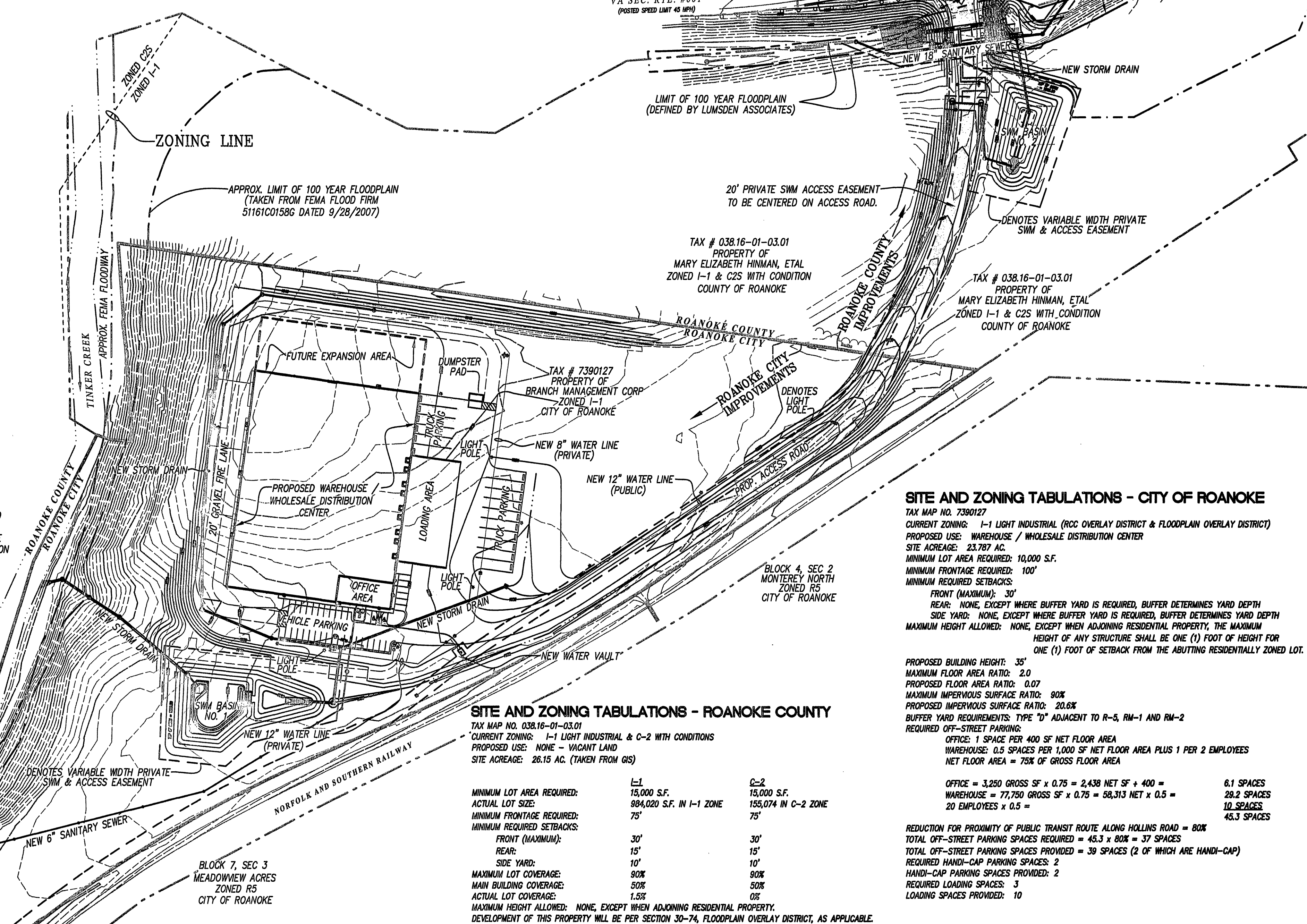


1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT. (SEE SOIL REPORT BY GEOTECHNICS, INC. DATED APRIL 20, 2010)
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT. (SEE SOIL REPORT BY GEOTECHNICS, INC. DATED APRIL 20, 2010)
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT AND ROCKS LARGER THAN 6 INCHES IN DIAMETER OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT. (SEE SOIL REPORT BY GEOTECHNICS, INC. DATED APRIL 20, 2010)
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT. (SEE SOIL REPORT BY GEOTECHNICS, INC. DATED APRIL 20, 2010)
5. A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME. (SEE SOIL REPORT BY GEOTECHNICS, INC. DATED APRIL 20, 2010)

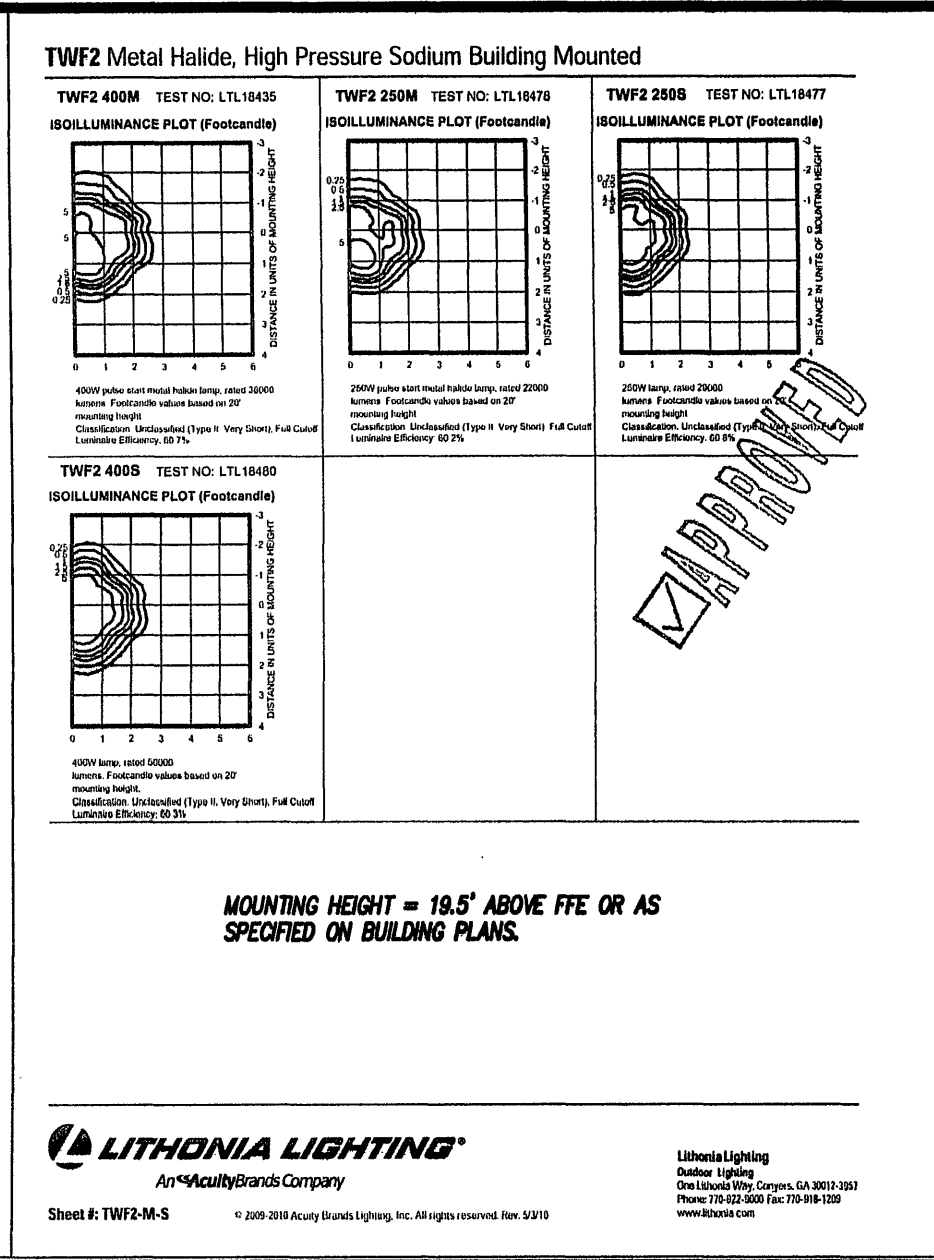
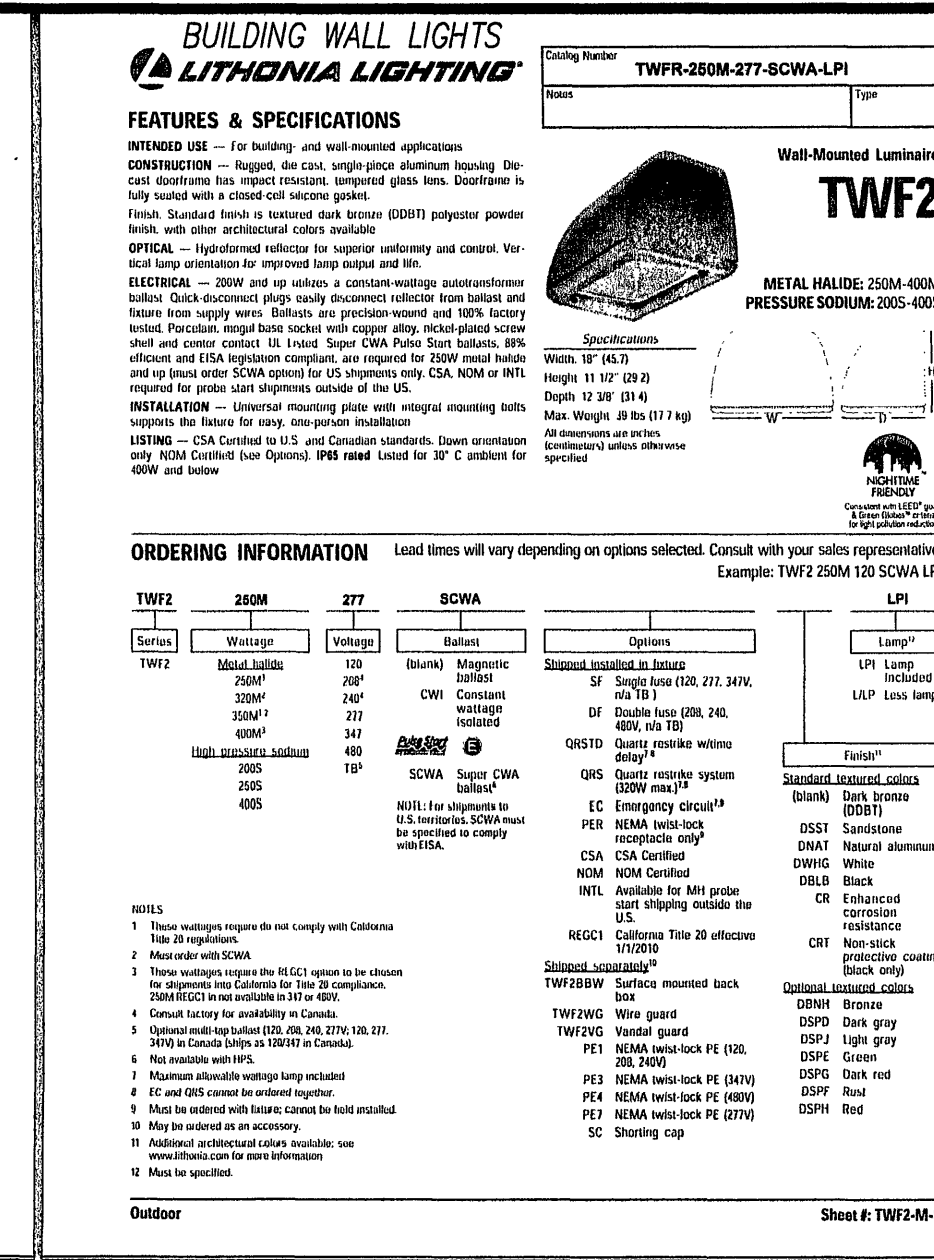
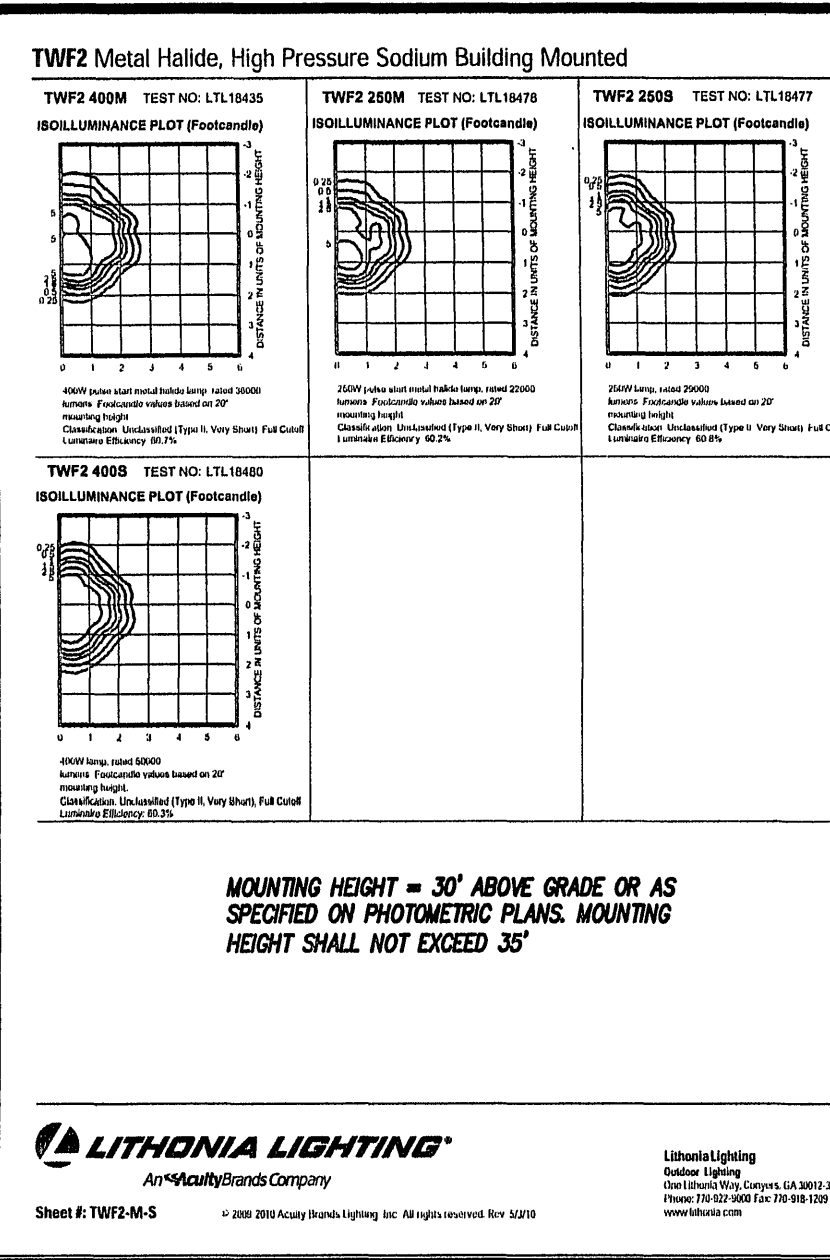


(DEFINED BY LUMSDEN ASSOCIATES)



TAX MAP NO. 730127  
CURRENT ZONING: I-1 LIGHT INDUSTRIAL (RCC OVERLAY DISTRICT & FLOORPLAN OVERLAY DISTRICT)  
PROPOSED USE: WAREHOUSE / WHOLESALE DISTRIBUTION CENTER  
SITE ACREAGE: 23.787 AC  
MINIMUM LOT AREA REQUIRED: 10,000 S.F.  
MINIMUM FRONTAGE REQUIRED: 100'  
MINIMUM REQUIRED SETBACKS:  
FRONT (MAXIMUM): 30'  
REAR: NONE, EXCEPT WHERE BUFFER YARD IS REQUIRED, BUFFER DETERMINES YARD DEPTH  
SIDE YARD: NONE, EXCEPT WHERE BUFFER YARD IS REQUIRED, BUFFER DETERMINES YARD DEPTH  
MAXIMUM HEIGHT ALLOWED: NONE, EXCEPT WHEN ADJOINING RESIDENTIAL PROPERTY, THE MAXIMUM  
HEIGHT OF ANY STRUCTURE SHALL BE ONE (1) FOOT OF HEIGHT FOR  
ONE (1) FOOT OF SETBACK FROM THE ADJUTING RESIDENTIALLY ZONED LOT.

TAX MAP NO. 038.16-01-03.01		
CURRENT ZONING: I-1 LIGHT INDUSTRIAL & C-2 WITH CONDITIONS		
PROPOSED USE: NONE - VACANT LAND		
SITE ACREAGE: 26.15 AC. (FROM GIS)		
	<u>I-1</u>	<u>C-2</u>
MINIMUM LOT AREA REQUIRED:	15,000 S.F.	15,000 S.F.
ACTUAL LOT SIZE:	984,020 S.F. IN I-1 ZONE	155,074 IN C-2 ZONE
MINIMUM FRONTAGE REQUIRED:	75'	75'
MINIMUM REQUIRED SETBACKS:		
FRONT (MAXIMUM):	30'	30'
REAR:	15'	15'
SIDE YARD:	10'	10'
MAXIMUM LOT COVERAGE:	50%	90%
MAXIMUM BUILDING COVERAGE:	50%	50%
ACTUAL LOT COVERAGE:	1.5%	0%
MAXIMUM HEIGHT ALLOWED:	NONE, EXCEPT WHEN ADJOINING RESIDENTIAL PROPERTY.	
DEVELOPMENT OF THIS PROPERTY WILL BE PER SECTION 30-74, FLOODPLAIN OVERLAY DISTRICT, AS		



REVISIONS	
NO.	DATE
1	
2	
3	
4	
5	
6	

DATE:	September 29, 2010
SCALE:	1" = 100'
COMMISSION NO.	2010-019

SHEET
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