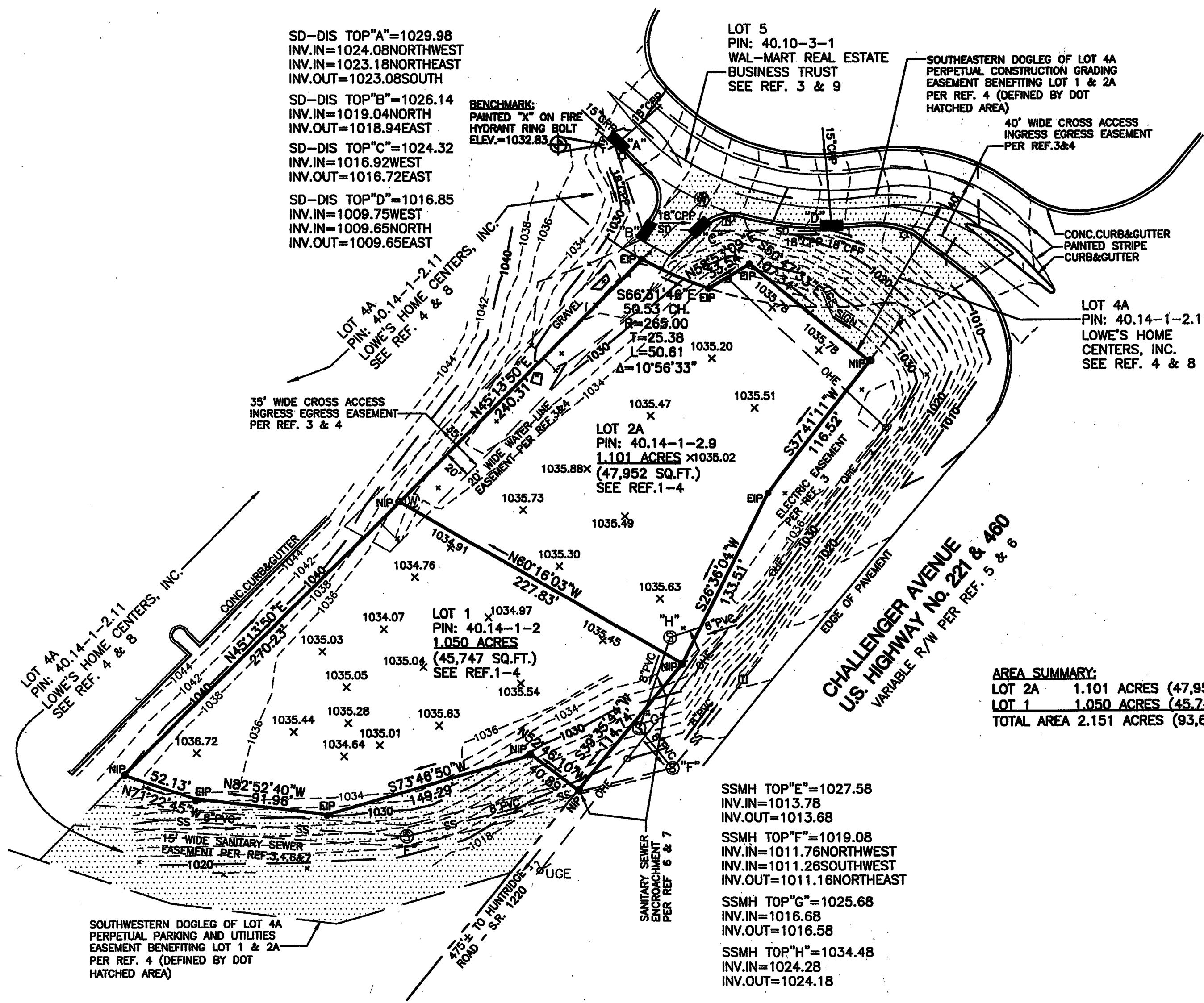


GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTOR(S) ON-SITE.
2. CONTRACTOR SHALL FIELD VERIFY VERTICAL AND HORIZONTAL LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL CONTACT MISS UTILITY (1-800-552-7001) 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
3. CONTRACTOR SHALL NOTIFY VDOT PRIOR TO ANY CONSTRUCTION ON STREET RIGHTS-OF-WAY.
4. WHEN WORKING ADJACENT TO EXISTING STRUCTURES, POLES, ETC., CONTRACTOR SHALL USE WHATEVER METHODS THAT ARE NECESSARY TO PROTECT STRUCTURES FROM DAMAGE. REPLACEMENT OF DAMAGED STRUCTURES SHALL BE AT THE CONTRACTOR'S EXPENSE.
5. EROSION AND SEDIMENT CONTROL NOTES:
- A) ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL CONFORM TO THE LATEST EDITIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND THE VDOT ROAD AND BRIDGE STANDARDS MANUAL.
- B) CONTRACTOR SHALL INSTALL SILT BARRIERS, INLET PROTECTION, CONSTRUCTION ENTRANCES AT POINTS OF INGRESS AND EGRESS TO PUBLIC RIGHT-OF-WAY, STABILIZE DISTURBED AREAS, AND PROVIDE OTHER MEASURES REQUIRED AS SHOWN ON THE DRAWINGS AND SPECIFIED.
- C) CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT TRACKING ON EXISTING PAVEMENTS.
- D) CONTRACTOR SHALL INSTALL GRAVEL CONSTRUCTION ROAD STABILIZATION OF ADEQUATE AREA TO ACCOMMODATE CONSTRUCTION VEHICLE PARKING, MATERIAL STORAGE, ETC. AT A LOCATION CONVENIENT TO THE INDIVIDUAL CONSTRUCTION AREAS AND CONSISTENT WITH THE CONSTRUCTION SEQUENCES.
- E) ANY DISTURBANCE TO EROSION AND SEDIMENTATION CONTROL MEASURES BY OTHER CONTRACTOR(S) SHALL BE REPAIRED AND/OR REPLACED BY THE RESPONSIBLE PARTIES.
6. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO VERIFY LOCATION OF AND PREVENT DISTURBANCE OF ANY EXISTING UTILITIES IN WORK AREA, AND PROVIDE IMMEDIATE TEMPORARY SERVICE TO ANY DAMAGED UTILITIES.
7. ALL DISTURBED AREAS ARE TO BE MULCHED AND SEEDED PER THE SPECIFICATIONS WITHIN 7 DAYS OF ACHIEVING FINAL GRADES.
8. IF CONSTRUCTION SCHEDULE DOES NOT ALLOW PERMANENT SEEDING IN THE DATES SHOWN IN THE SPECIFICATIONS OR IF CONSTRUCTION IS TEMPORARILY HALTED FOR A PERIOD OF 21 DAYS OR LONGER DUE TO WEATHER, WINTER SHUT DOWN, ETC., CONTRACTOR SHALL INSTALL TEMPORARY SEEDING WITHIN 7 DAYS. WHEN PERMANENT SEEDING DATES CAN BE ACCOMMODATED, THE CONTRACTOR SHALL RESEED WITH PERMANENT SEEDING MIXTURES. ALL SEEDED AREAS, WHICH DO NOT PRODUCE A THICK, HEALTHY, DESIRABLE VEGETATIVE COVER, ARE TO BE RESEEDED AND MULCHED AS NECESSARY UNTIL ACCEPTABLE VEGETATIVE COVER IS ESTABLISHED. PRIOR TO RESEEDING WITH PERMANENT VEGETATION, ALL ESTABLISHED TEMPORARY VEGETATION IS TO BE REMOVED.
9. ANY CONSTRUCTION WITHIN VDOT'S RIGHTS-OF-WAY IS TO BE IN ACCORDANCE WITH VDOT'S STANDARDS AND SPECIFICATIONS REGARDING MATERIALS, INSTALLATION, AND TESTING, UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS AND/OR TECHNICAL SPECIFICATIONS; EXCEPT THE METHOD OF PAYMENT WHICH WILL BE SPECIFIED IN THE TECHNICAL SPECIFICATIONS AND CONTRACT DOCUMENTS.
10. ANY CONSTRUCTION WITHIN VDOT'S RIGHT-OF-WAY SHALL BE PROTECTED WITH SIGNAGE AND TRAFFIC SAFETY DEVICES IN ACCORDANCE WITH THE "VIRGINIA WORK AREA PROTECTION MANUAL STANDARDS AND GUIDELINES", LATEST EDITION. ALSO THE CONTRACTOR SHALL HAVE "UTILITY WORK AHEAD" SIGNS LOCATED AT ALL LOCATIONS WHEN ENTERING THE TOWN OF NORTON'S OR VDOT'S RIGHTS-OF-WAY.
11. TOPSOIL IS TO BE STOCKPILED AND RE-SPREAD OVER DISTURBED AREAS TO BE SEEDED PER THE TECHNICAL SPECIFICATIONS. STOCKPILES SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AND SEDIMENT AND EROSION CONTROL DEVICES/MEASURES SHALL BE INSTALLED AS NECESSARY. THESE STOCKPILES ARE TO BE LOCATED IN AREAS THAT MINIMIZE DISTURBANCE TO CONSTRUCTION OPERATIONS.
12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES TO BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM ADMINISTRATOR.
13. ALL SPOT ELEVATIONS REFLECT FINISHED ELEVATIONS. SUBGRADE ELEVATIONS SHALL BE DETERMINED FROM INDIVIDUAL SECTION DETAILS.
14. CONTRACTOR SHALL PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATERLINES AND A MINIMUM OF 12" VERTICAL SEPARATION BETWEEN SANITARY SEWER LINES AND STORM SEWER LINES.
15. CONTRACTOR SHALL VERIFY EXACT BUILDING DIMENSIONS, UTILITY LOCATIONS INTO THE BUILDING AND DOWNSPOUT LOCATIONS WITH ARCHITECTURAL DRAWINGS.
16. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER AND ROANOKE COUNTY.
17. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATIVE PIPE SIZES OR MANHOLES, ESC CHANGES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5" X 11" IF THE INFORMATION IS LEGIBLE.

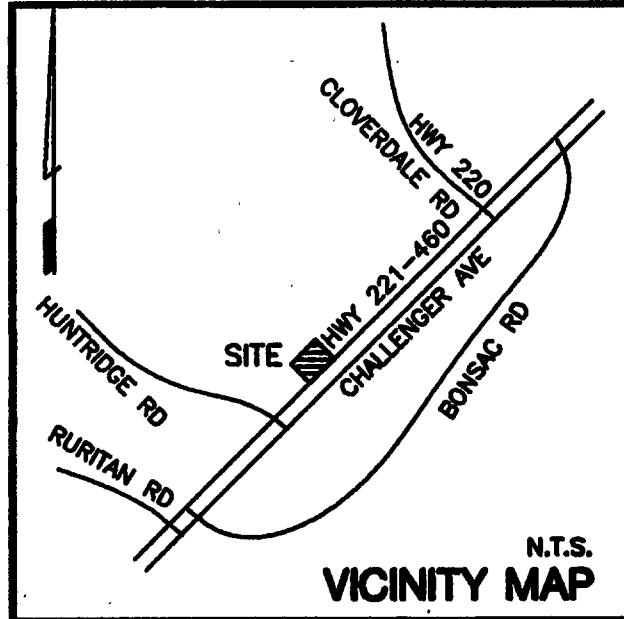


FLOOD NOTE

FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'X' (AREAS OF 500 YEAR FLOOD) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 51161C00290, WHICH BEARS AN EFFECTIVE DATE OF OCTOBER 15, 1995 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

GENERAL NOTES

1. THIS BOUNDARY SURVEY IS BASED ON A CURRENT FIELD SURVEY.



LEGEND

- SS-SANITARY SEWER
- SSMH-SANITARY SEWER MANHOLE
- PVC-POLY-VINYL CHLORIDE PIPE
- SD-STORM DRAIN
- SD-DIG-STORM DRAIN DROP INLET STANDARD
- CPP-CORRUGATED PLASTIC PIPE
- UTILITY POLE
- LIGHT POLE
- TELEPHONE PEDESTAL
- OHE-OVERHEAD ELECTRIC UTILITY
- UGE-UNDERGROUND ELECTRIC UTILITY
- FH-FIRE HYDRANT
- WV-WATER VALVE
- W-WATER UTILITY MANHOLE
- EIP-EXISTING IRON PIN
- NIP-NEW IRON PIN
- PIN-TAX PARCEL ID. No.
- R/W-RIGHT OF WAY

LEGAL DESCRIPTION

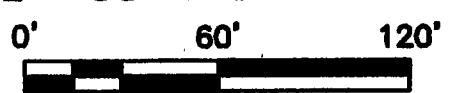
Being located in Hollins Magisterial District, Roanoke County, Virginia, and being more particularly described as follows: Beginning at an iron pin in the western right-of-way line of U.S. Highway No. 221 and 480 (Challenger Avenue) said point being located 475±' north of S.R. #220 (Huntridge Road); thence leaving said U.S. Highway 221 and 480 (Challenger Avenue), N52°-46'-10"W-40.89' to an iron pin; thence S73°-46'-50"W-149.29' to an iron pin; thence N82°-52'-40"W-91.96' to an iron pin; thence N71°-22'-45"W-52.13' to an iron pin; thence N45°-13'-50"E-510.54' to an iron pin; thence S66°-31'-46"E-50.53' to an iron pin; thence N58°-53'-09"E-33.54' to an iron pin; thence S50°-47'-33"E-107.34' to an iron pin in the aforesaid western right-of-way line of US Highway No. 221 and 480 (Challenger Avenue); thence with said right-of-way line, S37°-41'-11"W-116.52' to an iron pin, S26°-36'-04"W-133.51' to an iron pin, S39°-35'-44"W-114.74' to the point beginning, containing 2.151 acres (93,699 square feet), and being lots 1 and 2A.

AREA SUMMARY:
LOT 2A 1.101 ACRES (47,952 SQUARE FEET)
LOT 1 1.050 ACRES (45,747 SQUARE FEET)
TOTAL AREA 2.151 ACRES (93,699 SQUARE FEET)

PRELIMINARY

ROANOKE COUNTY, VIRGINIA
HOLLINS MAGISTERIAL DISTRICT
ALTA/ACSM LAND TITLE SURVEY FOR:
APPLEBEE'S
INTERNATIONAL, INC.

SCALE: 1"=60' DATE: MAY 19, 2005



Dewberry
Dewberry & Davis, Inc.

551 PINEY FOREST ROAD
DANVILLE, VA 24040
PHONE: 434/707/4407
FAX: 434/707/4341
FILE: 80321900\BONSA-AB

Math By	Party Chief	POWELL	File No.
Checked By	Ed. Bk. / Pg.	758 1	V632C

Applebee's
Neighborhood Grill & Bar
APPLEBEE'S INTERNATIONAL, INC.
4551 V. 107TH STREET, SUITE 100
OVERLAND PARK, KANSAS 66207
TEL: (913) 997-4000 FAX: (913) 997-0103

Dewberry
Dewberry & Davis, Inc.
551 PINEY FOREST ROAD
DANVILLE, VA 24040
PHONE: 434/707/4407
FAX: 434/707/4341

Applebee's
Neighborhood Grill & Bar
ROANOKE, VIRGINIA

PROJECT NUMBER: 80321900		
ISSUED FOR PERMIT & BID:		
REVISIONS:		
NO.	DESCRIPTION:	DATE:
1	OTB PLANS	3/15/06
2	PER CO. COMMENTS	4/26/06

PROJECT MANAGER:
BKB
DRAWN BY:
BRA
DRAWING TITLE:
EXISTING SITE CONDITIONS

DRAWING NUMBER:
C1.1