

GENERAL NOTES

1. TRUCKING ON OR ABOUT THE SITE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH HIS EQUIPMENT AND MATERIALS. THE STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED BY OWNER AND CONTRACTOR.
2. THE CONTRACTOR SHALL FURTHER ENFORCE THE ARCHITECT'S INSTRUCTIONS OF SUCH NATURE, INCLUDING PARKING, USE OF ROADS, AND FIRE PREVENTION, WHICH THE OWNER MAY DEEM NECESSARY OR DESIRABLE ON THE OWNER'S PROPERTY.
3. UTILITIES SHOWN ARE TAKEN FROM SURVEY AND PART FROM RECORDS OF RESPECTIVE UTILITY COMPANIES AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON PREMISES SHOWN ON PLAN.
4. ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF BASE COURSE AND PAVING. BEFORE COMMENCING PAVING WORK, THE PAVING CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACE NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE IN ACCORDANCE TO THE SURFACES AND WORKING CONDITIONS OF THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS REASONABLE TO BE EXPECTED.
5. THE PLUMBING CONTRACTOR SHALL VERIFY SEWER DEPTH AND BE RESPONSIBLE FOR PROVIDING ADEQUATE SLOPE OF BUILDING SEWER TOWARD THE TOWN SEWER IN STRICT ACCORDANCE WITH THE GOVERNING AUTHORITIES PRIOR TO BUILDING.
6. THE PLUMBING CONTRACTOR, ELECTRICAL CONTRACTOR, AND HEATING, AIR CONDITIONING, AND VENTILATION CONTRACTOR SHALL BE UNDER THE DIRECTION OF THE GENERAL CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE COORDINATION OF ALL WORK ON THIS PROJECT AND THE PROPER EXECUTION OF THE SAME.
7. ALL EXISTING UTILITIES SERVING THE PROPERTY SHALL BE PROPERLY TERMINATED IN COMPLIANCE WITH COUNTY OF ROANOKE REGULATIONS.
8. REMOVE ALL TREES, INCLUDING ROOT STRUCTURES, EXCEPT THOSE SPECIFICALLY NOTED TO REMAIN AND THOSE ON PROPERTY LINES. DO NOT CLEAR SITE PRIOR TO COORDINATING WITH THE OWNER AND THE LANDSCAPING PLAN TO LOCATE ALL TREES.
9. ALL EXTERIOR ILLUMINATED SIGNS ARE PROVIDED AND INSTALLED UNDER A SEPARATE CONTRACT. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRE TO SIGN. FINAL CONNECTIONS TO BE MADE BY ELECTRICAL CONTRACTOR.
10. REMOVE EXISTING TOP SOIL FROM AREAS TO BE PAVED AND REPLACE WITH SUITABLE COMPACTED FILL. STOCKPILE FOR FUTURE USE IF MATERIAL IS DEEMED USABLE FOR LANDSCAPE BERMS OR TOPSOIL.
11. GENERAL CONTRACTOR SHALL PROVIDE FLOOR POISONING FOR TERMITES AND OTHER INSECTS PRIOR TO FINAL CONCRETE FLOOR INSTALLATION. GENERAL CONTRACTOR SHALL SUBMIT TO OWNER WRITTEN GUARANTEE FROM REPUTABLE LOCAL EXTERMINATING COMPANY.
12. VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO OWNER.
13. BACKFILL ALL TRENCHES UNDER SLABS, WALKS, AND PAVED AREAS WITH BANK RUN GRAVEL. ALL EXCAVATING AND BACKFILLING IS BY INDIVIDUAL CONTRACTS (PLUMBING, ELECTRICAL, ETC.).
14. INSTALL 8" PULVERIZED TOPSOIL IN ALL LANDSCAPING AREAS (2" BELOW WALK ELEVATION) CLOSE TO BUILDING AND 2" TOPSOIL IN AREAS INDICATED AS SOD. ALL MOUND AREAS TO RECEIVE 8" OF TOPSOIL.
15. FOLLOW WRITTEN DIMENSIONS ALWAYS. DO NOT SCALE.
16. ALL SITE WORK AND PAVING MUST BE IN ACCORDANCE WITH, OR SURPASS, RECOMMENDATIONS OF SOILS REPORT. IF SOILS REPORT CONFLICTS WITH DRAWINGS AND SPECIFICATIONS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE AND BE CONSIDERED TO BE THE INTENT OF THE BID DOCUMENTS. IN ALL CASES, STRICTLY ADHERE TO DRAWINGS AND SPECIFICATIONS, UNLESS SOILS REPORT RECOMMENDATION EXCEEDS THE DRAWINGS AND SPECIFICATIONS.
17. CONTRACTOR IS TO ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN OUT MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
18. ALL MATERIALS ON WHICH FOOTINGS REST MUST BE CAPABLE OF SUPPORTING A DESIGN LOAD OF 2000 POUNDS PER SQUARE FOOT.
19. BOUNDARY LINE w/ BEARINGS AND DISTANCES AND EXISTING SITE FEATURES TAKEN FROM DRAWING TITLED "COUNTY OF ROANOKE ALTA/ACSM LAND TITLE SURVEY FOR APPLEBEE'S INTERNATIONAL, INC." DATED: MAY 19, 2005, PREPARED BY: DEWBERRY & DAVIS INC.
20. FREE STANDING SIGN LOCATION TO BE COORDINATED w/ THE OWNER.

PARKING TABULATION

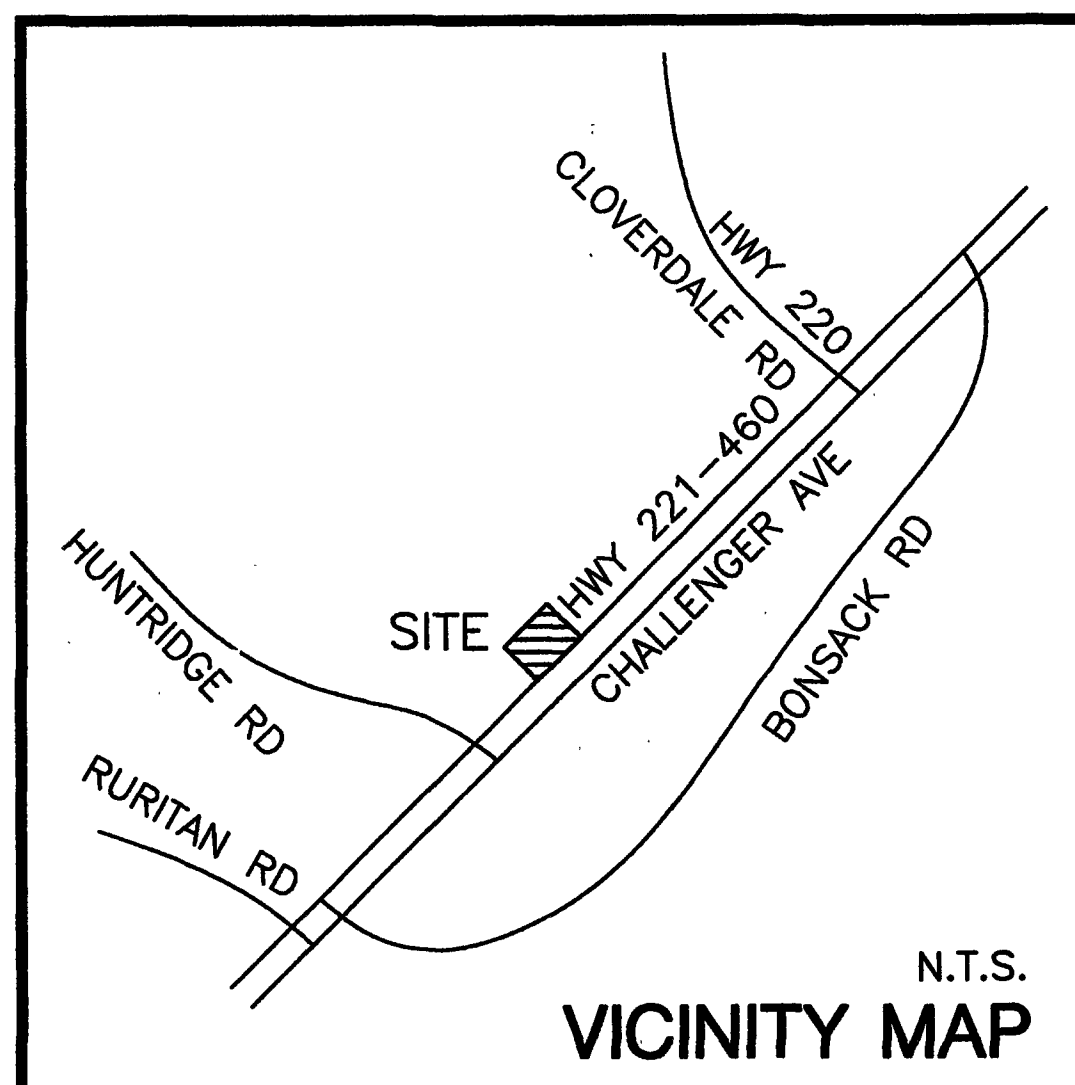
REQUIRED PARKING = 1 SPACE FOR EVERY 4 SEATS PLUS 1 SPACE PER 2 EMPLOYEES ON MAJOR SHIFT
169 SEATS - 30 EMPLOYEES ON MAJOR SHIFT
SPACES REQUIRED = 59 SPACES

PROVIDED PARKING = 91 SPACES + 4 H.C. SPACES = 95 PARKING SPACES TOTAL

SITE DATA

PROPOSED USE: RESTAURANT
ZONING DISTRICT: C-2 COMMERCIAL DISTRICT
BUILDING SETBACK:
FRONT YARD..... 30'
REAR YARD..... 15'
SIDE YARD..... 0'
OVERALL PARCEL SIZE: 1.1 ACRES±
HEIGHT LIMITATION PER SECTION 30-54-3 C.1 OF THE ROANOKE CO. ZONING ORDINANCE.
ACTUAL BUILDING HEIGHT = 23'-7" (SEE ARCH. PLANS)
NO. OF STORIES: ONE
OTHER SITE DATA:
BUILDING AREA = 6,158 S/F
CONCRETE AREA = 2,815 S/F
HEAVY DUTY PAVEMENT = 35,811 S/F
LIGHT DUTY PAVEMENT = 14,791 S/F
TOTAL AREA (INCLUDING ACCESS DRIVES) = 59,775 S/F

- GENERAL NOTES:**
1. ENSURE A CLEAR AND LEVEL ACCESSIBLE PATH FROM ALL PUBLIC SIDEWALKS / PUBLIC TRANSPORTATION STOPS WITHIN THE SITE.
 2. PROVIDE A CLEAR AND LEVEL ACCESSIBLE PATH FROM EGRESS EXITS TO THE PARKING SURFACE OR LOWEST GROUND LEVEL AT THE TERMINATION.



PAVING LEGEND

- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT

LEGEND

- SS-SANITARY SEWER
- SSMH-SANITARY SEWER MANHOLE
- PVC-POLY-VINYL CHLORIDE PIPE
- SD-STORM DRAIN
- SD-DIG-STORM DRAIN DROP INLET STANDARD
- CPP-CORRUGATED PLASTIC PIPE
- UTILITY POLE
- LIGHT POLE
- TELEPHONE PEDESTAL
- OHE-OVERHEAD ELECTRIC UTILITY
- UGE-UNDERGROUND ELECTRIC UTILITY
- FH-FIRE HYDRANT
- WV-WATER VALVE
- W-WATER UTILITY MANHOLE
- EIP-EXISTING IRON PIN
- NIP-NEW IRON PIN
- PIN-TAX PARCEL ID. No.
- R/W-RIGHT OF WAY

ZONING TABULATION TABLE

MAXIMUM LOT COVERAGE = 90%
ACTUAL LOT COVERAGE = 86%
MAXIMUM BUILDING COVERAGE = 50%
ACTUAL BUILDING COVERAGE = 9%

NOTE:

SEE EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND (ECR) RECORDED AS INSTRUMENT #200307227 AND THE FIRST AMENDMENT TO ECR RECORDED AS INSTRUMENT # 200501025 FOR INFORMATION ON ACCESS RIGHTS.
SEE LETTER FROM THE COUNTY OF ROANOKE FOR INFORMATION ON STORMWATER MANAGEMENT.
SEE LETTER FROM SONIC FOR INFORMATION REGARDING TEMPORARY CONSTRUCTION EASEMENT.
SEE PLAN APPROVAL LETTER FROM LOWE'S HOME CENTERS, INC. FOR EASEMENT INFORMATION ON UTILITIES, GRADING, AND STORMSEWER.

NOTE:

CONTRACTOR SHALL OBTAIN A TEMPORARY CONSTRUCTION EASEMENT FROM SONIC IF APPLEBEE'S PROCEEDS SONIC IN CONSTRUCTION.
APPLEBEE'S WILL ROUGH GRADE SONIC'S SITE AND INSTALL A CONSTRUCTION ENTRANCE IF THEY BEGIN CONSTRUCTION FIRST. CONTRACTOR SHALL COORDINATE WITH APPLEBEE'S.

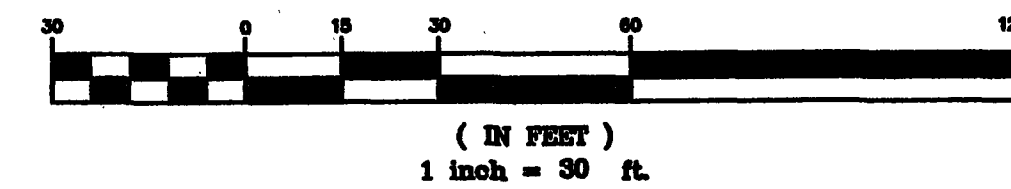
NOTE:

EXISTING SITE IS A GRADED GRASSED PAD.

NOTE:

IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM-SEWER SYSTEM ALONG ROUTE 460 SHOULD THIS SYSTEM BECOME SILTED OR BLOCKED IN ANYWAY DUE TO THE PROPOSED DEVELOPMENT.

GRAPHIC SCALE



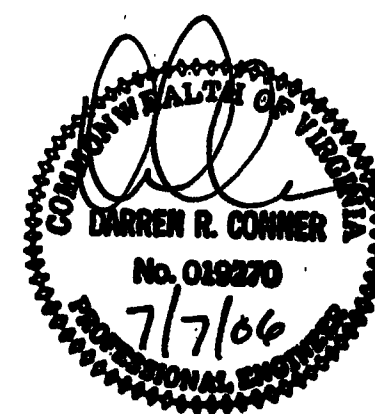
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Applebee's
Neighborhood Grill & Bar
APPLEBEE'S INTERNATIONAL, INC.
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OVERLAND PARK, KANSAS 66207
TEL (913) 967-4000 FAX (913) 967-5105

Dewberry
Dewberry & Davis, Inc.

551 PINEY FOREST ROAD
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ROANOKE, VA 24012
PHONE (540) 797-7407
FAX (540) 797-7541

Applebee's
Neighborhood Grill & Bar
ROANOKE, VIRGINIA



PROJECT NUMBER: 80321900
ISSUED FOR PERMIT & BID:

REVISIONS:	NO.	DESCRIPTION:	DATE:
1	OTB PLANS	3/15/06	
2	PER CO. COMMENTS	4/26/06	
3	PER CO. COMMENTS	6/1/06	

PROJECT MANAGER:

BKB

DRAWN BY:

BRA

DRAWING TITLE:

Site Improvement Plan

DRAWING NUMBER:

C2.1