

THIS SET OF PLANS IS DESIGNED FOR MINOR LAND DISTURBANCE, CONSTRUCTION OF A 50' X 75' BUILDING, 30' X 75' PAVEMENT SLAB, AND PRIVATE UTILITY CONSTRUCTION PURPOSES ONLY.

THE CONTRACTOR SHALL VERIFY THE DIMENSIONS OF THIS PLAN WITH THAT OF THE ARCHITECTURAL PLANS, NOT INCLUDED IN THIS SET.

GENERAL NOTES

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF ROANOKE ENGINEERING DIVISION IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- INSTALLATION OF APPROVED EROSION CONTROL DEVICES.
 - CLEARING AND GRUBBING.
 - SUBGRADE EXCAVATION.
 - INSTALLING STORM SEWERS OR CULVERTS.
 - INSTALLING CURB AND GUTTER FORMS.
 - PLACING CURB AND GUTTER.
 - PLACING OTHER CONCRETE.
 - PLACING GRAVEL BASE.
 - PLACING ANY ROADWAY SURFACE.
 - INSTALLING WATER LINES.
 - INSTALLING SANITARY SEWER LINES.
- (N/A) = NOT APPLICABLE PORTION FOR THIS PLAN

MEASURES TO CONTROL EROSION AND SILTATION MUST BE PROVIDED FOR PRIOR TO PLAN APPROVAL. PLAN APPROVAL IN NO WAY RELIEVES THE DEVELOPER OR CONTRACTOR OF THE RESPONSIBILITIES CONTAINED IN EROSION AND SILTATION CONTROL POLICIES.

FIELD CONSTRUCTION SHALL HONOR EXISTING AND PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.

ALL UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION LIMITS OF THE ROADWAY BEFORE PLACING EMBANKMENT.

PAVEMENT SECTIONS ON APPROVED PLANS ARE BASED ON A MINIMUM CBR OF 10. CBR TESTS ARE TO BE ACQUIRED BY THE OWNER AND SUBMITTED TO THE CITY OF ROANOKE ENGINEERING DIVISION PRIOR TO PLACEMENT. CBR VALUES LESS THAN 10 WILL REQUIRE REVISED PAVEMENT SECTIONS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE JOB SITE.

(N/A) VDOT ST'D. HR-1 HANDRAIL IS REQUIRED ON ALL WALLS EXCEEDING 4.0' IN HEIGHT.

(N/A) LOCATION OF GUARD RAILS SHALL BE DETERMINED AT A JOINT FIELD INSPECTION BY THE CITY OF ROANOKE.

(N/A) ALL SPRINGS SHALL BE CAPPED AND PIPED TO THE NEAREST STORM SEWER OR NATURAL WATERCOURSE. THE PIPE SHALL BE MINIMUM OF 6" DIAMETER AND CONFORM TO VDOT STANDARD SB-1 (AS REVISED).

STANDARD STREET AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED AT EACH INTERSECTION BY THE DEVELOPER PRIOR TO FINAL STREET ACCEPTANCE. (N/A)

CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED ON-SITE.

THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THE STREETS ARE IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.

THE DEVELOPER AND/OR CONTRACTOR SHALL SUPPLY ALL UTILITY COMPANIES WITH COPIES OF APPROVED PLANS, ADVISING THEN THAT ALL GRADING AND INSTALLATION SHALL CONFORM TO APPROVED PLANS.

CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO, BUT NOT MORE THAN TEN WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THROUGH MISS UTILITY AT (800) 552-7001.

100 YEAR FLOODWAY AND FLOOD PLAIN SHALL BE SHOWN WHERE APPLICABLE. ALL WORK SHALL BE SUBJECT TO INSPECTION BY CITY OF ROANOKE INSPECTORS.

GRADE STAKES SHALL BE SET FOR ALL CURB AND GUTTER, CULVERT, SANITARY SEWER, AND STORM SEWER.

LOCATION OF UNDERGROUND UTILITIES IS BASED ON FIELD SURVEYS, AND AS SHOWN BY AVAILABLE RECORDS.

THE SITE WORK AND LANDSCAPING CONTRACTOR(S) SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES, BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA UNIFORM CODING SYSTEM CONTAINED IN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, FOR DETAILS AND SPECIFICATIONS OF EROSION CONTROL ITEMS SHOWN ON THESE PLANS.

ALL STORM DRAIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

APPROVED:

AGENT - CITY OF ROANOKE
PLANNING COMMISSION

DATE

CITY ENGINEER - CITY OF
ROANOKE, VIRGINIA

DATE

ENGINEER'S NOTES

T.P. PARKER & SON ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

T.P. PARKER & SON DOES NOT GUARANTEE THE COMPLETION OR QUALITY OF PERFORMANCE OF THE CONTRACTS OR THE COMPLETION OR QUALITY OF PERFORMANCE OF CONTRACTS BY SUBCONTRACTORS OR OTHER THIRD PARTIES.

SOURCE OF TOPOGRAPHIC MAPPING IS T. P. PARKER & SON GROUND SURVEYS DATED 1989 AND NOVEMBER 2002 AND CITY OF ROANOKE AERIAL TOPOGRAPHY.

BOUNDARY SURVEY WAS PERFORMED BY T. P. PARKER & SON DATED 1989 AND NOVEMBER 2002.

BENCHMARK(S) BASED UPON THE NGVD 29 DATUM. ALL BENCHMARK ELEVATIONS ORIGINATED FROM A BENCHMARK IN POLE NO. 205-210, SHOWN ON "DUNCAN DEVELOPMENT" PLANS DATED JULY 2, 1990. A BENCHMARK HAS BEEN SET ON THE SOUTH EAST CORNER OF A CONCRETE BASE FOR THE SIGNAL POLE, LOCATED NORTH OF THE ENTRANCE FROM PETERS CREEK ROAD.

SEWER NOTES

NOTE: THIS PROJECT IS DESIGNED FOR A PRIVATE SANITARY SEWER LATERAL ONLY. THE PROPOSED BUILDING IS A COMMERCIAL BUILDING.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING ALL MANHOLES AFTER PAVING. MANHOLE TOPS SHALL BE ADJUSTED TO GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

HOUSE CONNECTIONS ARE TO BE MADE WITH 4" PIPE INSTALLED ON A MINIMUM GRADE OF 1/4 INCH TO 1 FOOT IN THE RIGHT OF WAY.

COMMERCIAL CONNECTIONS ARE TO BE MADE WITH 6" PIPE INSTALLED ON A MINIMUM GRADE OF 1/4 INCH TO 1 FOOT IN THE RIGHT OF WAY.

LATERALS FROM MANHOLES SHALL BE P.V.C. OR DUCTILE IRON OF SUFFICIENT LENGTH TO PROVIDE TWO (2) FEET OF BEARING ON NATURAL GROUND. THE TRANSITION FROM DUCTILE IRON TO ASBESTOS CEMENT OR CONCRETE PIPE SHALL BE MADE WITH AN ADAPTOR COUPLING IN THE RIGHT OF WAY.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ROANOKE FOR THE CONNECTION OF ALL LATERALS TO THE EXISTING PUBLIC SEWER LINE AND EXISTING LATERALS.

WATER NOTES

NOTE: THIS PROJECT IS DESIGNED FOR A PRIVATE WATER LATERAL ONLY.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS AFTER PAVING AND ADJUSTMENT TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN, OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT OF WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

APPLICATION FOR UTILITIES TO SERVE DEVELOPMENT REFERENCE NUMBER

PROFFERED CONDITIONS FOR REZONING

PURSUANT TO ZONING ORDINANCE NO. 29658, DATED JULY 24, 1989, THE PROPERTY WAS REZONED FROM RS-3, TO C-2, GENERAL COMMERCIAL DISTRICT, SUBJECT TO CERTAIN CONDITIONS PROFFERED BY THE APPLICANT:

- TEHRE WILL BE NO ACCESS OFF THELMA STREET, N.W.
- LAND FOR A 30' SERVICE ROAD ALONG THE ENTIRE FRONT WIDTH OF PETERS CREEK ROAD WILL BE DEDICATED.
- ACCESS FROM PETERS CREEK ROAD TO THE PROPERTY WILL ONLY BE AT THE PRESENT SIGNAL LIGHT ON PETERS CREEK ROAD.
- A 30' BUFFER OF WHITE PINES, AT LEAST 6' TALL STAGGERED APPROXIMATELY EACH 12' WILL BE PLANTED ALONG THE REAR PORTION OF THE PROPERTY
- A 7% GREEN SPACE WILL BE PROVIDED.
- NO PORTION OF THE PROPERTY AS REZONED WILL BE DEVELOPED FOR ANY OF THE FOLLOWING USES:
"FAST FOOD RESTAURANT"
HOTEL OR MOTEL
CONVENIENCE STORE
MOBILE HOME PARK
- ALL LOUD SPEAKERS AND LIGHTS WILL BE POSITIONED SO AS TO FOCUS AWAY FROM RESIDENTIAL AREAS.
- IF NO BUILDING PERMIT HAS BEEN USED OR NO CONSTRUCTION COMMENCED WITHIN FIVE (5) YEARS FROM DATE OF FINAL ZONING APPROVAL, THE ZONING SHALL REVERT TO RS-3.

ADDITIONAL STEPS ARE SHOWN ON THIS PLAN FOR THE SITE TO BE IN GENERAL CONFORMANCE WITH THE PROFFERED CONDITIONS.

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

CITY INSPECTIONS: TO ENSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRECONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY OF ROANOKE DEPARTMENT OF ZONING AND DEVELOPMENT (540) 981-2250 OR 981-1325 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION.

STREET OPENING PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS) A STREET OPENING PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE AND/OR VDOT.

PLANS AND PERMITS: A COPY OF THE PLANS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION-RELATED EGRESS FROM THE SITE. THE SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE DETERMINED BY THE CITY OF ROANOKE SITE PLAN INSPECTOR.

STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.

APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID CHANGES OR VARIATIONS ON CONSTRUCTION BEING MADE.

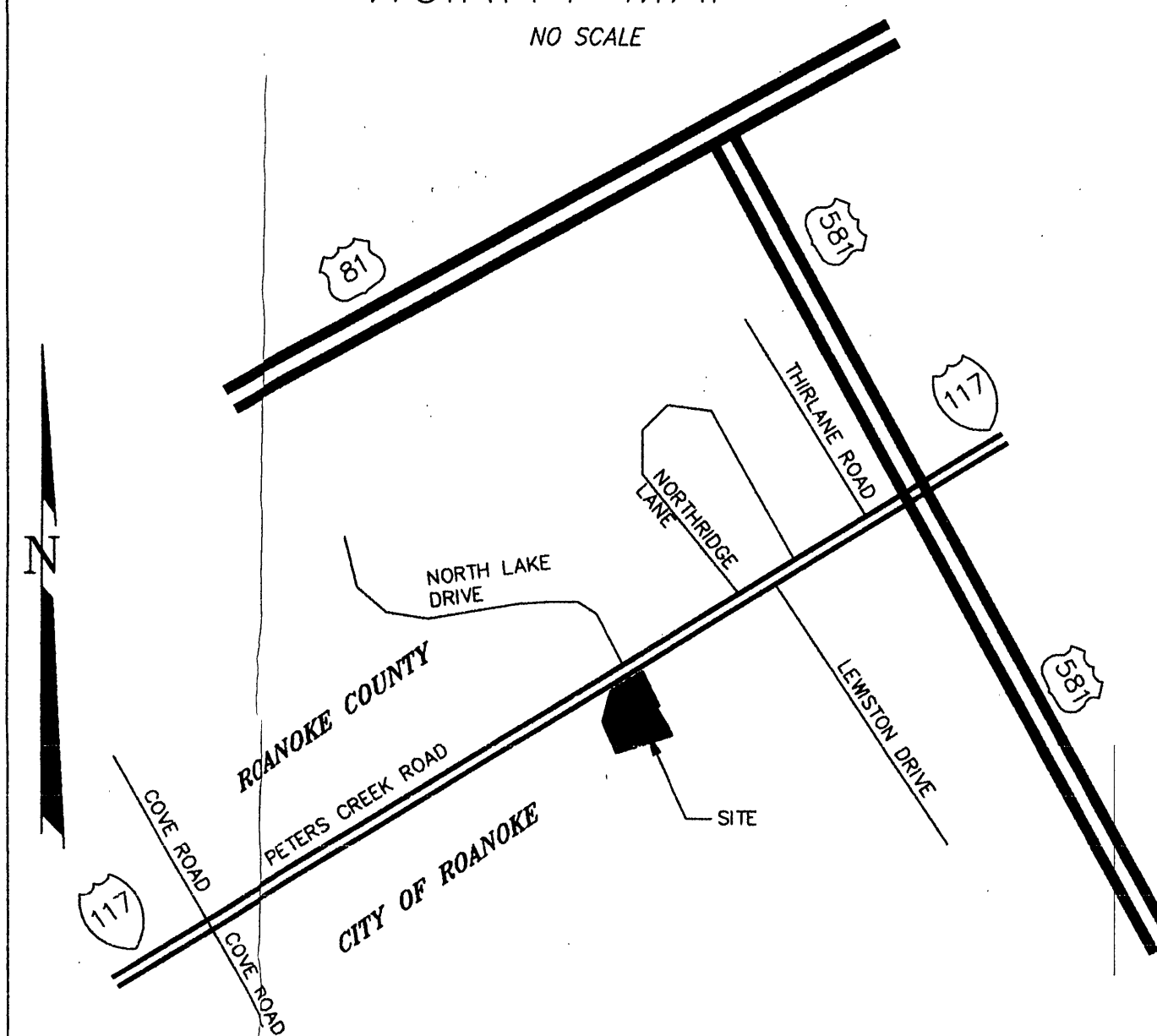
FINAL ACCEPTANCE/CITY: THE DEVELOPER OR CONTRACTOR SHALL FURNISH THE CITY OF ROANOKE ENGINEERING DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

NOTICE: ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

VICINITY MAP

NO SCALE



REVISIONS				
Designed By:	No.	Date	Remarks	By
PJB				
Drawn By:				
PJB				
Date:				
12-03-02				
W.O. #				
02-0788				
N.B. #				
G-66				

SHEET INDEX

SHEET #

TITLE

C1
C2
C3
C4

COVER SHEET
BASIC DEVELOPMENT PLAN
EROSION CONTROL NARRATIVE &
OIL/WATER SEPARATOR DETAILS

DEVELOPMENT	Date
Agent, Planning Commission	1-29-03
Development Engineer	1/29/03
Zoning Administrator	1-29-03
Any changes to this approval must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.	

ANY VARIATION FROM APPROVED PLANS MUST
BE APPROVED BY THE CITY OF ROANOKE

LEGEND

ABBREVIATIONS		SYMBOLS	
		EXISTING	NEW
AH/FH	ARROW HEAD TOP OF FIRE HYDRANT	MINIMUM MONUMENT	SPOT ELEVATION
APPROX	APPROXIMATE	PROPOSED	CONTOURS
ASPH	ASPHALT	PUBLIC UTILITY EASEMENT	SANITARY SEWER LINE
BC	BOTTOM OF CURB	PAVEMENT	WATERLINE
BIT	BITUMINOUS	RADIUS	STORM DRAIN
BLDG	BUILDING	RIGHT OF WAY	GAS LINE
BLK	BLOCK	REQUIRED RAILROAD	OVERHEAD ELECTRIC LINE
BM	BENCHMARK	REAR YARD SETBACK	OVERHEAD TELEPHONE LINE
BW	BOTTOM OF WALL	SANITARY	OVERHEAD CABLE TELEVISION LINE
CB	CINDER BLOCK	SOUTH BOUND LANE	UNDERGROUND TEL OR ELEC LINE
C&G	CURB & GUTTER	STORM DRAIN	WATER OR GAS METER
C&P	CORRUGATED METAL PIPE	SECTION	VALVE
CONC	CONCRETE	SLOPE EASEMENT	FIRE HYDRANT
COR	CORNER	SANITARY SEWER EASEMENT	MANHOLE
DBL	DOUBLE	STATION	CLEANOUT
DEFL	DEFLECTION	STANDARD	DROP INLET (CURB OR GRATE)
DI	DROP INLET	STORAGE	UTILITY POLE, GUY & ANCHOR
DIA	DIAMETER	SIDE YARD SETBACK	DITCH OR SWALE
DE	DRAINAGE EASEMENT	TEMPORARY BENCHMARK	CENTERLINE OR BASELINE
EEL	EAST BOUND LANE	TOP OF CURB	PROPERTY LINE
ELEC	ELECTRIC	TELEPHONE	SURVEY TRAVERSE POINT
ELEV	ELEVATION	TRANSFORMER	DEFLECTION ANGLE
ENTR	ENTRANCE	TOP OF WALL	DIRECT ANGLE
EP	EDGE OF PAVEMENT	TYPICAL	YARD LIGHTING
EW	ENDWALL	VIRGINIA DEPARTMENT OF TRANSPORTATION	YARD HYDRANT
EXIST	EXISTING	VERTICAL	WELL
FDN	FOUNDATION	WEST BOUND LANE	BENCHMARK
FF	FINISHED FLOOR	YARD	FENCE
FG	FINISH GRADE		TREE LINE
HPT	HIGH POINT		RAILROAD
INV	INVERT		HANDICAPPED SPACE
IP	IRON PIN		
LT	LEFT		
MBL	MINIMUM BUILDING LINE		
MH	MANHOLE		

2ND SUBMITTAL: 21 JANUARY 2003
PLAN DATE: 03 DECEMBER 2002

NAME OF
DEVELOPMENT

PROPOSED 50' X 75' BUILDING
AND ASSOCIATED PAVEMENT FOR
AUTOBUY, INC.

LOCATION

3141 PETERS CREEK ROAD, N.W.
ACROSS FROM NORTH LAKE DRIVE

OWNER(S)

PAUL A. AND GARY A. DUNCAN
ATTN: BUTCH LINKOUS
3141 PETERS CREEK ROAD
ROANOKE, VIRGINIA
PHONE: (540) 527-1900

FAX: (540) 527-1902

DEVELOPER

AUTOBUY, INC.
ATTN: BUTCH LINKOUS
3141 PETERS CREEK ROAD
ROANOKE, VIRGINIA

PHONE: (540) 527-1900
FAX: (540) 527-1902

CITY OF ROANOKE TAX PARCEL

642-1204

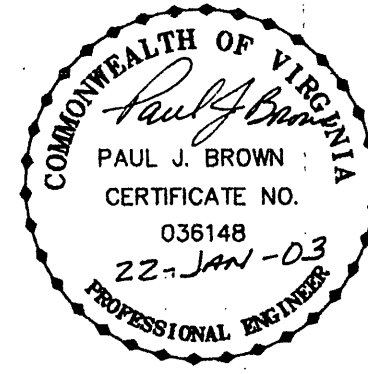
JAN 23 2003

CITY OF ROANOKE
PLANNING-BUILDING AND DEVELOPMENT

T. P. PARKER & SON

816 Boulevard
Post Office Box 39
Salem, Virginia 24153
Telephone: 540-387-1153
FAX: 540-389-5767

TPP&S
ENGINEERS
SURVEYORS
PLANNERS



THIS SET OF PLANS IS PRELIMINARY AND NOT FOR CONSTRUCTION UNTIL SUCH TIME THAT THE REVIEWING LOCALITY HAS APPROVED THE PLANS.