

"ORANGE MARKET"
PROPERTY IN
ROANOKE COUNTY
PROPERTY OF
GREEN MARKET, INC.
COUNTY TM# 037.14-01-09
3202 PETERS CREEK ROAD
ZONED C2C

PROPERTY OF
BANK OF BOJETOURT
COUNTY TM# 037.14-01-48
3130 PETERS CREEK ROAD
ZONED C2

ZONING NOTES:

THE SUBJECT SITE IS OWNED BY
PAUL A. DUNCAN AND
GARY A. DUNCAN BY DEED DATED MARCH
23, 1987 AND RECORDED IN DEED BOOK
1557 PAGE 1000 AND DEED BOOK 1607
PAGE 240.

THE SUBJECT SITE HAS OFFICIAL TAX MAP
NOS 6421203, 6421204, AND 6421208.
THE PROPOSED BUILDING AND A MAJORITY
OF THE WORK WILL BE COMPLETED ON TAX
MAP NO 6421204. THE SITE IS ZONED C2
BY ZONING ORDINANCE 29658, DATED JULY
24, 1989. THE PROFFERED CONDITIONS FOR
THE ZONING ORDINANCE ARE SHOWN ON
THE COVER OF THIS PLAN SET.

THE SUBJECT PROPERTY IS IN THE LIMITS
OF ZONE "X", AS SHOWN ON THE FEMA
FLOOD INSURANCE RATE MAP 51161C0023 D,
EFFECTIVE OCTOBER 15, 1993. THIS
DETERMINATION IS BASED ON SAID MAP.

ZONING REQUIREMENTS FOR C2-GENERAL COMMERCIAL DISTRICT

36.1-206: PERMITTED USES:

(37) ESTABLISHMENTS PRIMARILY ENGAGED IN THE SALE OR RENTAL OF AUTOMOBILES, TRUCKS
AND CONSTRUCTION EQUIPMENT INCLUDING THE INCIDENTAL REPAIR AND MAINTENANCE OF
VEHICLES WHERE THE LOT AREA IS GREATER THAN 20,000 SQ. FT.
(40) AUTOMOBILE REPAIR ESTABLISHMENTS EXCEPT PAINTING AND BODY SHOPS.

36.1-208: MINIMUM LOT SIZE AND FRONTAGE:

MINIMUM LOT AREA = 10,000 SQ. FT. (ACTUAL 202,090 SQ. FT.)(3 PARCELS)
MINIMUM LOT FRONTAGE = 75 FEET (ACTUAL 290.95 FEET)(2 PARCELS)

36.1-209: MAXIMUM LOT COVERAGE:

THE MAXIMUM LOT COVERAGE FOR ALL STRUCTURES ON THE LOT SHALL BE 60 PERCENT.
ALLOWABLE = 121,254 SQ. FT. ACTUAL AND PROPOSED = 5,906 SQ. FT.

36.1-210: MAXIMUM FLOOR AREA RATIO:

THE MAXIMUM FLOOR AREA RATIO FOR ALL STRUCTURES SHALL BE 5.0.

36.1-211: MINIMUM YARD REQUIREMENTS:

FRONT = 25 FEET
SIDE = 0 FEET, EXCEPT WHERE ABUTTING RESIDENTIAL, THEN 20 FEET.
REAR = 25 FEET

36.1-212: MAXIMUM HEIGHT:

NO MAXIMUM HEIGHT FOR THIS SITE.

36.1-213: MINIMUM OPEN SPACE RATIO:

MINIMUM OPEN SPACE SHALL BE 10 PERCENT OF THE LOT AREA
(20,209 SQ. FT. REQUIRED) (139,050 SQ. FT. PROVIDED AT THIS TIME)

36.1-214: OUTDOOR STORAGE:

THERE SHALL BE NO OUTDOOR STORAGE EXCEPT AS FOLLOWS:
(A) TREES, SHRUBS AND OTHER PLANTS STORED IN CONJUNCTION WITH A PERMITTED
NURSERY OR GREENHOUSE OPERATION;
(B) AUTOMOBILES, TRUCKS, AND CONSTRUCTION EQUIPMENT ASSOCIATED WITH A PERMITTED
SALES OR REPAIR ESTABLISHMENT; AND
(C) OUTDOOR STORAGE WHICH IS ACCESSORY TO A SPECIAL EXCEPTION USE.

ARTICLE IV:

36.1-407: MULTIPLE STRUCTURES ON SAME LOT: ALLOWABLE.

36.1-410: SCREENING ROOF EQUIPMENT: IN ANY DISTRICT EXCEPT LM OR HM, ALL
MECHANICAL, ELECTRICAL, COMMUNICATION, AIR CONDITIONING OR OTHER EQUIPMENT
INCLUDING SATELLITE DISHES LOCATED ON THE ROOF SHALL BE SCREENED FROM VIEW TO
THE EXTENT THAT NO MORE THAN 1/2 THE VERTICAL HEIGHT OF THE EQUIPMENT MAY BE
VISIBLE FROM AN ADJACENT STREET, OR FROM THE SAME ELEVATION OF AN EXISTING
BUILDING.

36.1-415: PERFORMANCE STANDARDS:

THE PROPOSED EXPANSION MEETS ALL THE ZONING
REQUIREMENTS AND IS IN SUBSTANTIAL CONFORMANCE WITH THE INTENDED USE OF THIS LOT.
THE INTENDED USE OF THIS BUILDING EXPANSION IS IN COMPLIANCE WITH NOISE AND
VIBRATION REQUIREMENTS. THE INTENDED USE DOES NOT EXCEED THE HUMIDITY, HEAT, OR
ELECTROMAGNETIC INTERFERENCES ABOVE THAT ALLOWED BY ZONING REQUIREMENTS.

OFF-STREET PARKING REQUIREMENTS:

36.1-429: TABLE OF PARKING REQUIREMENTS:
REPAIR ESTABLISHMENTS: 1 SPACE FOR EVERY 300 SQ. FT. OF NET FLOOR AREA.
4,430 SQ. FT. OF REPAIR SPACE (EXISTING AND PROPOSED) = 15 SPACES

THE EXISTING PAVEMENT PROVIDES PARKING FOR 68 VEHICLES. THE EXISTING GRAVEL IS TO BE FENCED
IN (NO ACCESS TO THE PUBLIC) AND PROVIDES FOR AN ADDITIONAL 55 VEHICLES.

ADEQUATE PARKING SPACE IS PROVIDED FOR THE NUMBER OF PEAK EMPLOYEES, PEAK CLIENTS, AND
AVERAGE NUMBER OF RETAIL SALE CARS. ONE ADDITIONAL HANDICAP PARKING SPACE IS PROVIDED TO
THE PROPOSED BUILDING.

ACCESSORY USES AND STRUCTURES: THE PROPOSED CONSTRUCTION IS CONSIDERED ANOTHER PRIMARY BUILDING

36.1-531: GENERAL REQUIREMENTS:

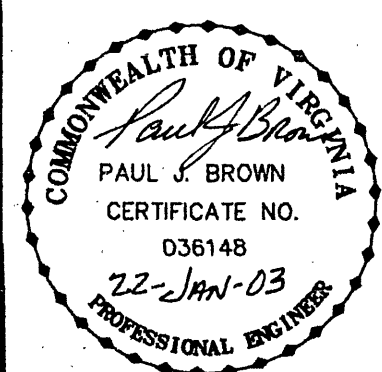
- (A) PROPOSED STRUCTURE IS USED IN CONJUNCTION WITH PERMITTED USE. (CAR SALES AND REPAIR ASSOCIATED WITH SALE)
- (B) PROPOSED STRUCTURE IS LOCATED ON THE SAME LOT AS THE PRINCIPAL USE.
- (C) PARKING FOR THE PROPOSED STRUCTURE HAS BEEN ADDRESSED UNDER PARKING REQUIREMENTS.
- (D) PROPOSED STRUCTURE IS NOT USED FOR HUMAN HABITATION.
- (E) FRONT YARD SETBACKS HAVE BEEN HONORED. (EXCEEDS 25' MBL)
- (F) PROPOSED STRUCTURE EXCEEDS THE 5-FOOT SETBACK REQUIREMENT FOR THIS SECTION.
- (G) THE PROPOSED STRUCTURE MEETS AND/OR EXCEEDS THE SIDE YARD SETBACK REQUIREMENTS.
- (H) THE PROPOSED CONSTRUCTION MEETS THE SCREENING REQUIREMENTS SET FORTH IN THIS ZONING DISTRICT.
- (I) THE PROPOSED STRUCTURE IS LOCATED IN EXCESS OF 6- FEET FROM ADJACENT BUILDINGS.
- (J) THE PROPOSED CONSTRUCTION IS A PRIMARY BUILDING. (PROPOSED SQUARE FOOTAGE EXCEEDS EXISTING SQUARE FOOTAGE).
- (K) NOT APPLICABLE.

PROJECT SPECIFIC CONSTRUCTION NOTES AND ITEMS:

- 1 THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY CONSTRUCTION. (SEE SHEET C3 OF 4)
- 2 THE CONTRACTOR SHALL PROVIDE GRADING AND PREPARE THE SUBGRADE FOR THE BUILDING PAD. (THE FINISHED FLOOR ELEVATION IS APPROXIMATE)
- 3 THE CONTRACTOR SHALL PROVIDE A NEAT, VERTICAL SAW CUT ALONG THE EDGE OF THE EXISTING PAVEMENT, WHERE NEW CONSTRUCTION JOINS EXISTING.
- 4 THE CONTRACTOR SHALL PROVIDE A CONCRETE SLAB (FLOOR), 51.0' X 76.0', PER THE ARCHITECTURAL PLANS. REFERENCE IS DIRECTED TO ARCHITECTURAL PLANS FOR FOUNDATION REQUIREMENTS.
- 5 THE CONTRACTOR SHALL PROVIDE 120 SY OF CONCRETE PAVEMENT (A/C3) BETWEEN EXISTING PAVEMENT AND THE NEW BUILDING. THE CONTRACTOR SHALL MATCH THE EXISTING PAVEMENT EDGE.
- 6 THE CONTRACTOR SHALL PROVIDE 85 SY OF CONCRETE PAVEMENT, (10' X 76')(A/C3). THE CONTRACTOR SHALL MATCH THE PROPOSED EDGE OF THE CONCRETE SLAB FOR THE BUILDING.
- 7 THE CONTRACTOR SHALL EXPOSE THE EXISTING SANITARY SEWER LATERAL AND PROVIDE A 4-INCH X 4-INCH X 6-INCH WYE CONNECTION. REFERENCE IS DIRECTED TO THE PAVEMENT PATCHING DETAIL (B/C3) TO REPAIR THE EXISTING PAVEMENT. REFER TO PROFILE ON SHEET C4 FOR GENERAL DESIGN OF SANITARY SEWER LATERAL.
- 8 THE CONTRACTOR SHALL PROVIDE AN OIL/WATER SEPARATOR FOR CONTAMINATED LIQUIDS. OIL/WATER SEPARATOR SHALL BE "ENPOCO OIL 10-10" OR APPROVED EQUAL. THE CONTRACTOR SHALL PROVIDE DISCHARGE TO THE SANITARY SEWER LINE AND TO THE OIL STORAGE TANK. REFER TO SANITARY SEWER PROFILE, SHEET C4.
- 9 THE CONTRACTOR SHALL INSTALL A 6-INCH PRIVATE SANITARY SEWER LATERAL (ANTICIPATED 125 LF, ONE-45° BEND AND ONE-22.5° BEND AND CLEANOUTS) MEETING THE BOCA REQUIREMENTS OF THE CITY OF ROANOKE.
- 10 THE CONTRACTOR SHALL INSTALL A PRIVATE WATER CONNECTION TO THE EXISTING WATER LINE, FROM THE EXISTING WELL HOUSE (IN USE) TO THE PROPOSED BUILDING. REFERENCE IS DIRECTED TO THE ARCHITECTURAL PLANS FOR WATER LINE SIZE (ANTICIPATED 80 LF OF 1-INCH PIPE). REFERENCE IS DIRECTED TO THE PAVEMENT PATCHING DETAIL (B/C3). THE VIRGINIA DEPARTMENT OF HEALTH HAS BEEN CONTACTED AND WILL ALLOW THIS CONNECTION. WATER SAMPLE IS RECOMMENDED BUT NOT REQUIRED.
- 11 REMOVE 7 SY OF EXISTING PAVEMENT PER TREE AND INSTALL 6 BRADFORD PEARS, MINIMUM HEIGHT OF 6 FEET. STREET TREE SPACING OF 50' CENTER TO CENTER MAXIMUM.
- 12 INSTALL 43-PINUS STROBUS (WHITE PINES) IN TWO ROWS WITH 25-FOOT SEPARATION, AS GENERALLY SHOWN.
- 13 REMOVE 345 SY OF EXISTING GRAVEL. PROVIDE 7 BRADFORD PEARS, MIN. 2 1/2-INCH CALIPER AT TIME OF PLANTING, ALONG REAR EDGE OF PAVEMENT.
- 14 INSTALL TYPICAL PARKING BLOCK (5-6 FEET IN LENGTH) AND AFFIX TO PAVEMENT WITH TWO METAL PINS AROUND PERIMETER OF PAVEMENT AS SHOWN (26 TOTAL).
- 15 REMOVE BROKEN CONCRETE FROM STORMWATER DETENTION AREA AND REPAIR EROSION AREA WITH 8-FOOT WIDE CLASS 1 RIPRAP, 2- FEET DEEP, FROM THE INVERT OF THE SLOPE TO THE TOP OF THE SLOPE. (ANTICIPATED 50 TONS)
- 16 PLACE PERMANENT SEEDING ON DENUDED AREAS.
- 17 INSTALL NEW GRAVEL AND PLACE OPAQUE COLOR CHAIN LINK FENCE AROUND THE PERIMETER OF THE GRAVELED AREA.
- 18 INSTALL TRENCH DRAIN (LENGTH AS DIRECTED BY ARCHITECTURAL PLANS) AND CONNECT TO THE OIL/WATER SEPARATOR.
- 19 RELOCATE THE EXISTING DUMPSTER TO BE LOCATED BEHIND THE PROPOSED OPAQUE COLOR FENCE.

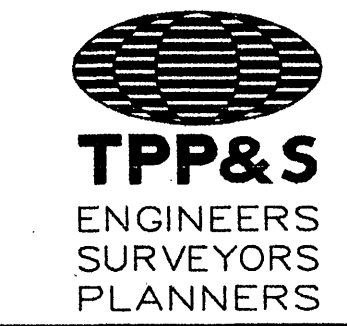
GENERAL NOTES:

1. THE UNDERGROUND UTILITIES SHOWN ARE BASED UPON VISIBLE FIELD LOCATION AND INSPECTION ONLY. NO UNDERGROUND UTILITIES HAVE BEEN MARKED IN THE FIELD. TPP&S DOES NOT WARRANT THE LOCATION OR DEPTH OF ANY UTILITIES SHOWN. THE CONTRACTOR SHALL COORDINATE WITH "MISS UTILITY" AND THE LOCAL UTILITY COMPANIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION. THE CONTRACTOR SHALL ANTICIPATE THE PRESENCE OF ADDITIONAL UTILITIES NOT SHOWN ON THIS PLAN.
2. THE STEWAGE CONTRACTOR SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF THE SITE. REFERENCE IS DIRECTED TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, FOR DETAILS AND SPECIFICATIONS OF THOSE ITEMS FOUND ON THESE PLANS. REFERENCE IS DIRECTED TO THE EROSION CONTROL NARRATIVE AND DETAILS SHEET FOR SPECIFIC ITEMS INCORPORATED INTO THIS PROJECT.
3. EXISTING GRASSED AREAS SHALL BE CLEARED AND GRUBBED AND THE TOPSOIL SHALL BE STOCKPILED ON THE SITE. ALL DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION AREA.
4. ALL EARTH SLOPES AND DENUDED AREAS SHALL BE SEEDING AND MULCHED WITHIN SEVEN (7) DAYS UPON OBTAINING FINISHED GRADE.
5. THE CONTRACTOR SHALL PROVIDE ADEQUATE POSITIVE DRAINAGE OF THE SITE AT ALL TIMES.
6. ALL PERMITS, FEES, AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR AND/OR DEVELOPER.
7. THE SITE PLAN IS BASED UPON A FULL BOUNDARY SURVEY AND PARTIAL TOPOGRAPHIC SURVEY DEPICTING ELEVATIONS WITHIN THE WORK AREA.
8. ELEVATIONS ARE BASED UPON AN EXISTING BENCHMARK, BM-1, SHOWN ON THE 1990 CONSTRUCTION PLANS FOR THIS SITE.
9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.



DESIGNED BY PJ BROWN
DRAWN BY PJB
CHECKED BY LRD
W.O. # 02-0788
N.B. G-66
TAX NO. 642-1204

BASIC DEVELOPMENT PLAN
FOR
A PROPOSED 50' X 75' BUILDING
FOR AUTOBUY, INC.
PAUL A. & GARY A. DUNCAN PROPERTY
SITUATE AT 3141 PETERS CREEK ROAD
CITY OF ROANOKE, VIRGINIA
REVISED: 20 JANUARY 2003 SCALE: 1" = 30'



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