

## WATERLINE NOTES:

WL#1: CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING WATERLINE PRIOR TO CONSTRUCTION.

WL#2: MAINTAIN MINIMUM 3.0' COVER ON WATER LINE.

WL#3: ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.

WL#4: ALL WATER AND SANITARY SEWER FACILITIES ARE TO BE INSTALLED ACCORDING TO THE WESTERN VIRGINIA WATER AUTHORITY DESIGN AND CONSTRUCTION STANDARDS.

WL#5: CONTRACTOR TO FURNISH AND INSTALL TAPPING SLEEVE AND VALVE, TAP TO BE MADE BY WVWA. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION AND SHORING PER OSHA REGULATIONS.

WL#6: THE WATER SERVICE FOR THIS PROJECT WILL REQUIRE A CONCRETE VAULT. PLEASE CONTACT CLEAR FLOW AT (540) 942-3300 TO ORDER THE VAULT. THE APPLICANT IS RESPONSIBLE FOR PAYMENT, DELIVERY AND COORDINATION OF THE VAULT, AND INSTALLATION OF THE WATER SERVICE BETWEEN THE AUTHORITY MAIN AND THE VAULT INCLUDING THE TAPPING SLEEVE AND VALVE. CONTRACTOR TO EXCAVATE AND INSTALL TAPPING SLEEVE AND VALVE, THE TAP TO BE MADE BY THE AUTHORITY UPON PAYMENT AND SCHEDULING.

WL#7: CONTRACTOR TO FURNISH AND INSTALL TAPPING SLEEVE AND VALVE, TAP TO BE MADE BY WVWA. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION AND SHORING PER OSHA REGULATIONS.

WL#8: ALL PROPOSED WATERLINE TO BE 350 PSI DUCTILE IRON PIPE.

## SANITARY SEWER NOTES:

SS#1: CONTRACTOR SHALL CONFIRM SANITARY SEWER EXIT FROM BUILDING PRIOR TO CONSTRUCTION.

SS#2: MAINTAIN MINIMUM 3.0' COVER ON SEWER LINE.

SS#3: RAISE ELEVATION OF SANITARY CLEANOUTS AS NECESSARY.

SS#4: CONNECT BUILDING ADDITIONS TO EXISTING SANITARY LATERALS.

SS#5: CONTRACTOR SHALL FIELD-VERIFY LOCATION OF EXISTING SANITARY SEWER.

SS#6: SANITARY LATERALS SHOWN ARE BASED ON A PREVIOUS BALZER PLAN DATED 07/02/08 (REV. 09/10/08).

SS#7: CONTRACTOR SHALL ENSURE THAT ALL NEW SANITARY LATERALS MUST TIE IN TO FIELD-VERIFIED EXISTING LATERALS.

SS#8: ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.

SS#9: ALL WATER AND SANITARY SEWER FACILITIES ARE TO BE INSTALLED ACCORDING TO THE WESTERN VIRGINIA WATER AUTHORITY DESIGN AND CONSTRUCTION STANDARDS.

## ELECTRIC NOTES:

1. CONTRACTOR SHALL CONSULT WITH ELECTRICAL ENGINEER TO CONFIRM ELECTRICAL REQUIREMENTS.

2. ALL NEW ELECTRICAL LINE TO BE INSTALLED UNDERGROUND.

3. PLAN SHOWS GENERAL LOCATION OF NEW UNDERGROUND ELECTRIC.

## GAS NOTES:

1. CONTRACTOR SHALL CONSULT WITH ARCHITECT TO CONFIRM GAS UTILITY REQUIREMENTS.

2. PROPOSED GAS TANKS SHALL BE INSTALLED AND BOLTED TO HEAVY DUTY CONCRETE PAD TO PREVENT FLOATATION DURING FLOOD EVENTS.

3. PROPOSED GAS LINE LOCATION IS APPROXIMATE. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1.5' OF VERTICAL SEPARATION WHEN CROSSING OTHER UTILITIES.

4. PROPOSED ABOVE GROUND TANKS SHALL BE INSTALLED IN SUCH A MANNER TO BE WATER TIGHT TO PREVENT DAMAGE DURING FLOOD EVENTS.

## SITE LAYOUT LEGEND

SEE SITE DETAILS SHEET.

1 HEAVY DUTY PAVEMENT ONSITE.

2 HEAVY DUTY CONCRETE.

3 CONCRETE SIDEWALK.

4 RETAINING WALL.

5 VDOT STD. GR-9 GUARDRAIL.

6 VDOT STD. CG-13 ENTRANCE AND BARLEY DRIVE WIDENING. THE CONTRACTOR SHALL VERIFY THE PAVEMENT SECTIONS OF BARLEY DRIVE IF THE PAVEMENT SECTIONS ARE GREATER THAN WHAT IS SPECIFIED IN THE HEAVY DUTY PAVEMENT DETAIL. THAN THE CONTRACTOR SHALL MATCH THE PAVEMENT SECTIONS OF BARLEY DRIVE FOR THE PROPOSED ROAD WIDENING AND ENTRANCE.

7 PROPOSED GRASSED ISLAND.

8 VDOT STD. CG-6 CURB AND GUTTER.

9 VALLEY GUTTER.

10 CURB TAPER.

11 CHAIN-LINK FENCE.

12 BOLLARD (TYP.)

## SITE UTILITIES LEGEND

SEE SITE DETAILS SHEET.

WL PROPOSED WATER LINE (8" 350 PSI DUCTILE IRON).

FH PROPOSED FIRE HYDRANT.

WV PROPOSED WATER VALVE.

UE PROPOSED UNDERGROUND ELECTRIC.

FV PROPOSED 8" FIRE VAULT.

RF PROPOSED 8"x6" REDUCER FITTING.

OE EXISTING OVERHEAD ELECTRIC.

UE EXISTING UTILITY POLE.

GL PROPOSED GAS LINE.

SS EXISTING SANITARY SEWER LINE.

CO EXISTING SANITARY SEWER CLEANOUT.

TEE PROPOSED 12"x8" CUT-IN-TEE ON EXISTING 12" WATERLINE.

## STRIPING & SIGNAGE LEGEND

FL FIRE LANE MARKING, (4" TYP. STRIPES)

FLS FIRE LANE SIGN PER ORDINANCE 9-21#14 (TYP.)

## GENERAL UTILITY NOTES:

1. THE LOCATION, DEPTH, AND ALIGNMENT OF EXISTING UNDERGROUND UTILITIES IS BASED UPON FIELD SURVEY, AVAILABLE RECORDS, OR AS LOCATED BY A UTILITY MARKING COMPANY AND SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE UTILITIES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON. CONTRACTOR SHALL CALL "MISS UTILITY" TO VERIFY LOCATION OF ANY UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION.

2. CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO COUNTY STANDARDS.

3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND INVERTS OF ALL EXISTING MANHOLES, GAS LINES, AND OTHER UTILITY LINES PRIOR TO THE START OF CONSTRUCTION.

4. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR SERVICE LINES.

5. CONTRACTOR SHALL USE CAUTION DURING CONSTRUCTION TO NOT DISTURB EXISTING UTILITIES TO REMAIN.

6. ALL NEW UTILITIES TO BE INSTALLED UNDERGROUND. CONTRACTOR SHALL VERIFY LOCATIONS OF UTILITY ENTRANCE/EXITS TO BUILDING WITH ARCHITECTURAL PLANS.

10. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST WVWA DESIGN AND CONSTRUCTION STANDARDS.

11. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE WESTERN VIRGINIA WATER AUTHORITY IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. PLEASE CONTACT NICK ROBERTSON AT 283-2932.

12. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.

13. FIELD CORRECTIONS SHALL BE APPROVED BY THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.

14. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" CLEARANCE VERTICALLY AND 2' MINIMUM HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER, SANITARY SEWER CROSSINGS OF ANY OTHER UTILITIES. WHERE THIS CANNOT BE ACHIEVED ADDITIONAL MEASURES IN ACCORDANCE WITH WVWA STANDARDS SHALL BE ENFORCED.

15. ANY EXISTING APPURTENANCES SHOULD BE ADJUSTED TO GRADE AND NEW FRAME AND COVERS INSTALLED WHERE REQUIRED.

16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EXISTING UTILITIES LOCATED AND DOTHOLED TO VERIFY LOCATIONS. THIS PLAN REVIEW DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.

## SITE STATISTICS:

Owner:	Barley Leasing LLC
	P.O. Box 700 Salem, VA 24153
Tax Number:	065.00-02-44.00-0000
Parcel Total Area:	22.21 Acres
Zone:	I-2 (High Intensity Industrial)
Proposed Use:	Warehousing/Distribution
Proposed Units:	41,000 SF Warehouse Expansion 5,000 SF Loading Canopy
Max Building Height:	75' adjacent to Residential zoning
Max Coverage Ratio:	90% Lot Area
Existing Ratio:	25.7% (5.71 Acres)
Proposed Ratio:	34.2% (7.59 Acres)
Max Building Cover:	75% Lot Area
Existing Ratio:	8.3% (1.91 Acres)
Proposed Ratio:	12.8% (2.85 Acres)
Parking Calculations:	
Required:	
Office:	10,790 Ex. SF (3 Spaces / 1,000 SF) = 33 Spaces
Warehouse:	54,925 Ex. SF + 41,000 Prop. SF = 95,925 SF (1 Space / 5,000 SF) = 20 Spaces
Total:	53 Total Spaces Required
Provided:	140 Spaces (161 Existing, 21 Removed, 0 Proposed)

All proposed water and sewer is to be a private service.

Nutrient Credits:  
4.32 lb/yr of phosphorus credits to be purchased from Virginia Nutrient Bank to address all stormwater quality requirements.

All exterior lighting fixtures shall be designed, located and arranged so as not to direct glare on adjoining streets or residential properties. The intensity at adjoining streets or residential properties shall not exceed 0.5 foot candles.

All refuse service (dumpsters/containers) and outdoor storage areas in all zoning districts shall be screened from surrounding views per section 30-92-5 and as shown in the Roanoke County design handbook. Height of screening must be a minimum of six (6) feet.

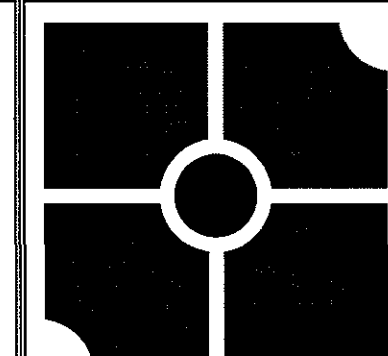
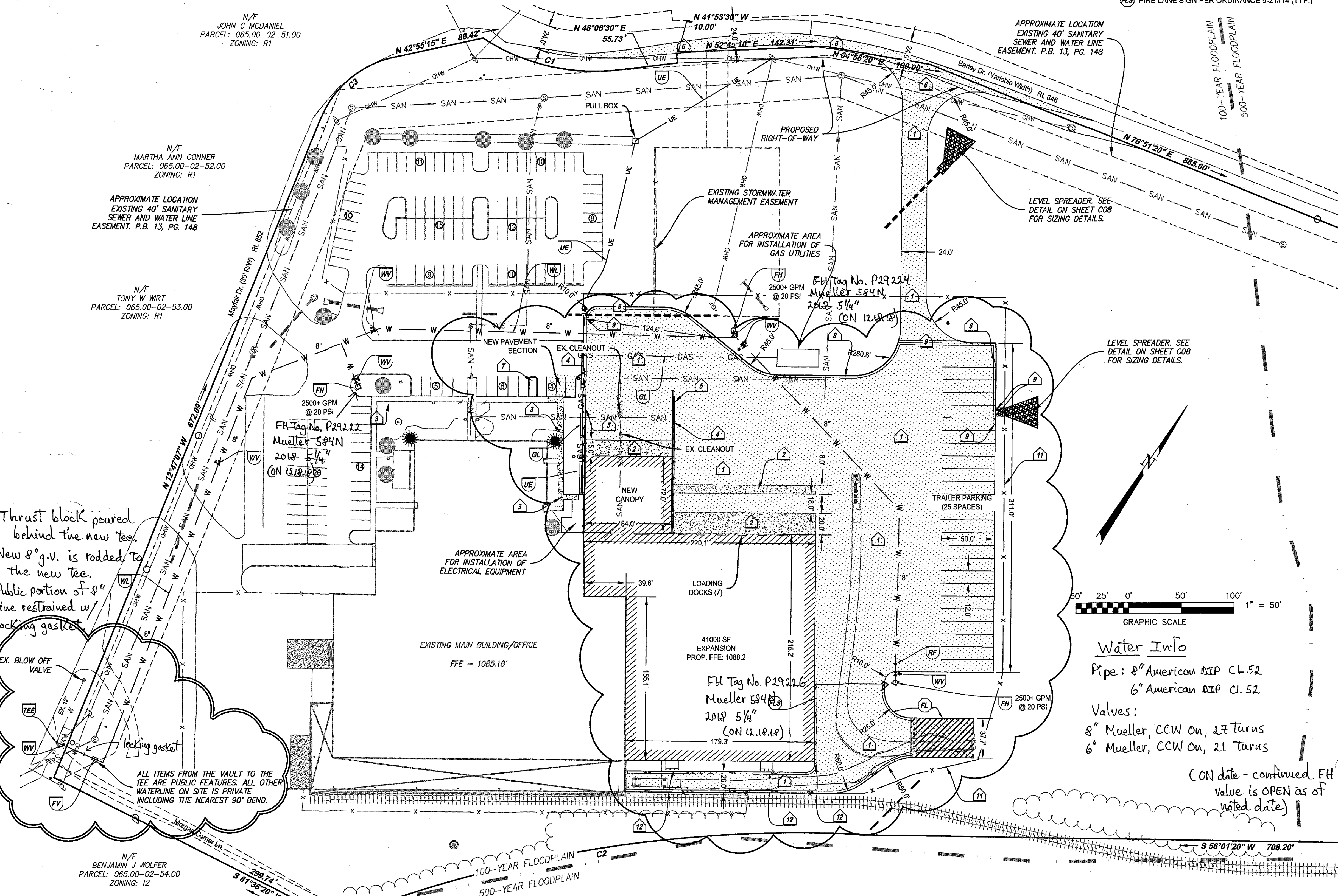
Ground level and rooftop mechanical equipment shall be screened or landscaped per section 30-92-5 and as shown in the Roanoke County design handbook.

## FIELD REVISION #2 AS NOTED (8/21/18):

1. ADDED LIGHTING FIXTURES.
2. ADDED CONCRETE STRIP FOR TRAILER PARKING.
3. REMOVED TREES FROM AREA TO BE DEVELOPED.
4. REVISED SIDEWALK LOCATION AND LAYOUT.
5. REVISED ELECTRIC UTILITY LOCATION AND LAYOUT.
6. ADDED FENCING AROUND ADDITION AND PARKING.
7. REVISED REAR ACCESS LAYOUT.
8. REVISED GAS UTILITY LOCATION AND LAYOUT.
9. ADDED LOCATION OF EXISTING CULVERT.
10. EXPANDED PARKING AREA IN FRONT OF BUILDING.

## FIELD REVISION #3 AS NOTED (11/29/18):

1. REVISED TEE AND VAULT LOCATION FOR PRIVATE FIRE LINE DUE TO FIELD CONDITIONS.



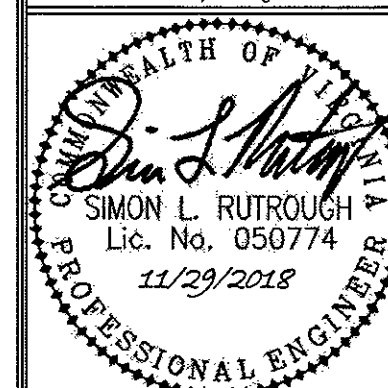
**parker**  
DESIGN GROUP

2122 Carolina Ave, SW  
Roanoke, VA 24014  
Ph: 540-387-1153  
Fax: 540-389-5767

1915-B W. Cary Street  
Richmond, VA 23220  
Phone: 804-358-2947  
Fax: 804-359-9645

www.parkerdgd.com

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**Warehouse Expansion**  
**for Blue Ridge Beverage**  
4446 Barley Drive  
Roanoke County, Virginia

## REVISIONS:

Address 1st Review Comments  
14 February 2018  
Field Revision #1: Bottom Sign  
12 July 2018  
Address County Comments to FR#1  
12 July 2018  
Field Revision #2: Updated Layout  
21 August 2018  
Field Revision #3: Updated Fire Line  
29 November 2018

DESIGNED BY: JLK

DRAWN BY: JLK

CHECKED BY: SLR

DATE:

11 December 2017

SHEET TITLE:

SITE LAYOUT

SCALE:

1" = 50'

SHEET NO.

**C03**

As-Built K. Winslow

12.21.18