

PROPERTY OWNER: BLUE RIDGE VILLAGE L.P.
2109 EAST PALM AVENUE, SUITE 206
TAMPA, FLORIDA 33605
ATTN: TOM McMULLEN

ENGINEER: LMW PROFESSIONAL CORPORATION
102 ALBEMARLE AVE., S.E.
ROANOKE, VIRGINIA 24013
(540) 345-0675

OFFICIAL TAX # OF PROPERTY: TAX MAP NO. 2420210 2.713 ACRES
OFFICIAL TAX # OF PROPERTY: TAX MAP NO. 2420209 1.476 ACRES
ZONING CLASSIFICATION: RM-2
TOTAL ACREAGE OF LAND TO BE DEVELOPED: 4.189 ACRES
TOTAL ACREAGE OF LAND TO BE DISTURBED: 4.189 ACRES
LEGAL REFERENCE: DB 2001, PG 1994; DB 0100, PG 2197

PROPOSED USES OF BUILDINGS: (1) APARTMENT BUILDINGS - RM-2, RESIDENTIAL,

PROPOSED HEIGHT: (1) 3 STORY BUILDINGS @ 31'
TOTAL SQUARE FOOTAGE OF BUILDING(S): 28,600
TOTAL NUMBER OF UNITS: 48
NUMBER OF PARKING/LOADING SPACES REQUIRED: 48
NUMBER OF PARKING/LOADING SPACES PROVIDED: 48 PARKING SPACES TOTAL, 5 HCP PARKING SPACES

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION REQUIREMENTS LISTED BELOW MAY RESULT
IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP
WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

CITY INSPECTIONS - TO INSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRE-CONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY BUILDING INSPECTIONS DEPARTMENT. CALL (540) 853-2344 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATE CONSTRUCTION.

STREET OPENING PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A STREET OPENING PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

PLANS AND PERMITS - A COPY OF THE PLANS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON PLANS.

STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.

APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE DEVELOPMENT ENGINEER PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

FINAL ACCEPTANCE/CITY - THE DEVELOPER OR CONTRACTOR SHALL FURNISH THE CITY OF ROANOKE'S ENGINEERING DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

FLOOD STATEMENT:

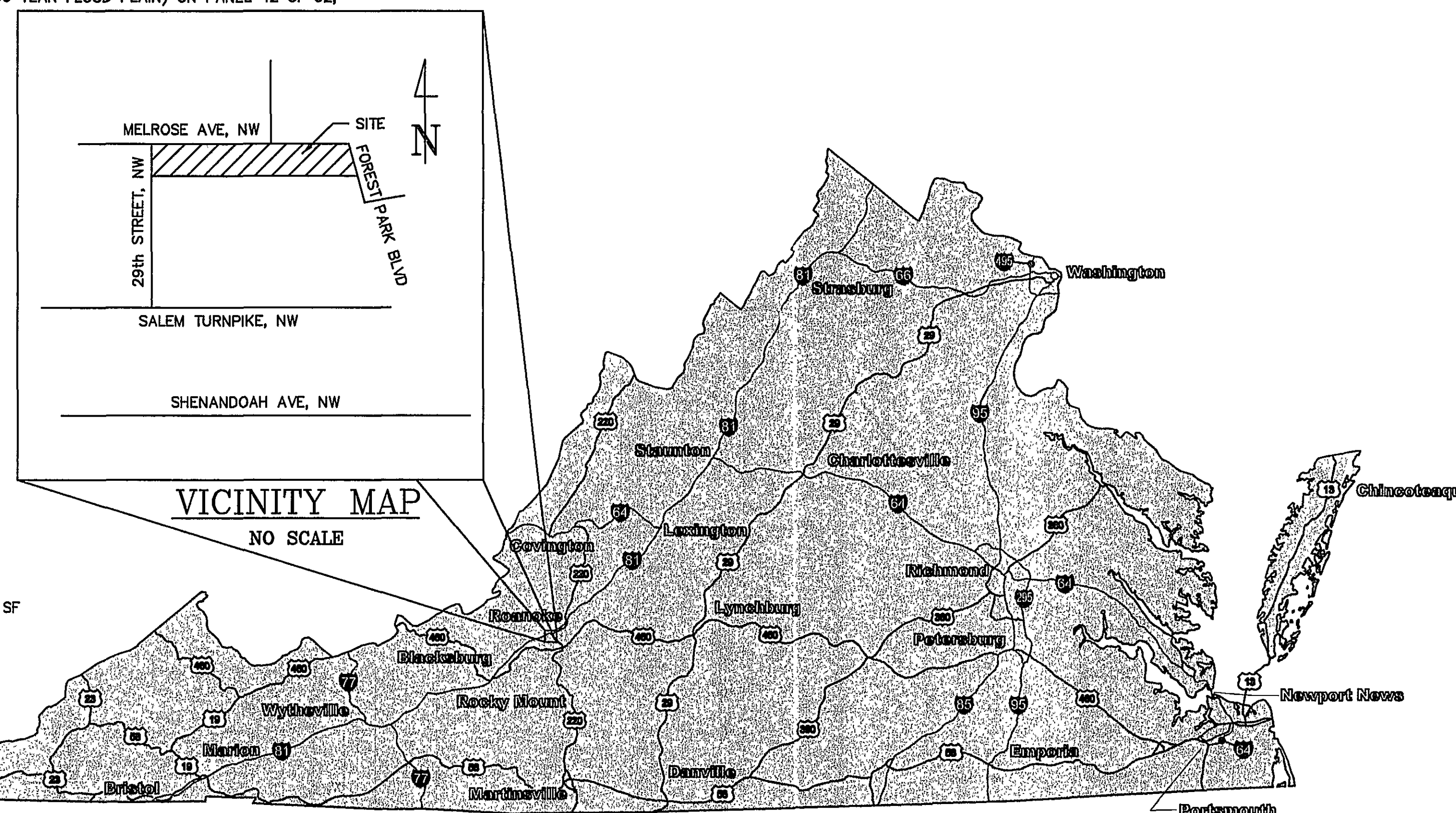
THIS PROPERTY DOES NOT LIE WITHIN THE LIMITS OF A 500-YEAR FLOODPLAIN AS DESIGNATED BY CURRENT FEMA MAPS. THE PROPERTY IS LOCATED IN ZONE X, (OUTSIDE 500 YEAR FLOOD PLAIN) ON PANEL 42 OF 92, MAP NUMBER 51161C0042D, DATED OCTOBER 15, 1993.

% LOT COVERAGE=BLDG. FOOTPRINT
LOT AREA
= 28,600 SF
4.189 AC X 43,560 SF/AC
= 0.156 = 15.6%

OPEN SPACE PER DWELLING UNIT=LOT AREA-(BLDG. FOOTPRINT&PARKING LOT)
#UNITS
= (4.189 AC X 43,560 SF/AC) - (28,600 SF + 30,870 SF)
48 UNITS
= 2,567 SF/UNIT

LOT AREA RATION=LOT AREA
UNITS
= (4.189 AC X 43,560 SF/AC)
48 UNITS
= 3,801 SF/AC

LANDSCAPED AREA = TOTAL SQUARE FOOTAGE PARKING - 29,722 SF
5% LANDSCAPING (REQUIRED) - 1,486 SF
LANDSCAPE AREA (PROVIDED) - 1,491 SF
% LANDSCAPING = $\frac{1,491 \text{ SF}}{29,722 \text{ SF}}$ = 5.02%



LOCATION MAP
NO SCALE

BLUE RIDGE VILLAGE SITE PLAN

29TH STREET, NW
ROANOKE, VIRGINIA 24034

CONTACT PERSON: RICHARD C. WHITE, P.E.

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ENGINEERING - ARCHITECTURE - SURVEYING
102 ALBEMARLE AVE., S.E.

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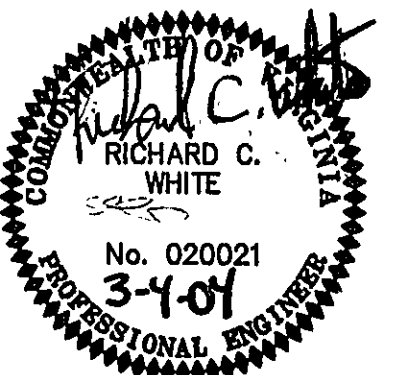
INDEX OF DRAWINGS

1. COVER SHEET
2. ABBREVIATIONS, LEGEND & GENERAL NOTES
3. EROSION AND SEDIMENT CONTROL DETAILS
4. TRANSPORTATION SHEET
5. GRADING PLAN
6. UTILITY PLAN
7. DIMENSIONAL PLAN & SITE LIGHTING
8. PROFILES
9. LANDSCAPING PLAN
10. STANDARD DETAILS
11. UTILITY SPECIFICATIONS
12. TRAFFIC CONTROLS

RECEIVED

DEC 07 2005

CITY OF ROANOKE
PLANNING BUILDING AND DEVELOPMENT



LMW P.C.

ENGINEERING · ARCHITECTURE · SURVEYING
(540) 345-0675 102 ALBEMARLE AVE., S.E.
FAX (540) 342-4456 ROANOKE, VIRGINIA 24013

BLUE RIDGE VILLAGE

DEVELOPMENT PLAN APPROVED	
Agent Planning Commission	Date 8/2-7-05
Development Engineer Emily Jaffe 12-3-05	
Zoning Administrator Nancy C. Burgess 12/3/05	
Any changes to this plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.	

COMM NO 13891

DATE: 10/20/2003

AS - BUILT 09/07/2006

SET NO.

CONSTRUCTION PLANS