

SITE INFORMATION:

OWNER: LEXINGTON FALLS LLC
7611 RICKENBACKER DRIVE
GAITHERSBURG, MD 20879

DEVELOPER: LEXINGTON FALLS LLC
ATTN: STAN SEYMOUR
5960 COLEMAN ROAD
ROANOKE, VA 24018

TAX MAP NUMBERS: 27.13-5-1, 27.13-5-2

SITE ADDRESS: 6065 PETERS CREEK ROAD
ROANOKE, VA

SIZE: 27.13-5-1 (1.67 AC.)
27.13-5-2 (0.68 AC.)

ZONING: 27.13-5-1 (C2CS)
27.13-5-2 (C1)

* SEE SHEET C-8
FOR INTERSECTION
IMPROVEMENTS

ROOF LEADER NOTES:

1. ALL DOWNSPOUTS OF THE RESTAURANT SHALL BE DISCHARGED INTO THE 10" SDR35 ROOF LEADER LINES AND TIED DIRECTLY INTO STRUCTURE #2 OF THE ONSITE STORM WATER CONVEYANCE SYSTEM

PRIVATE SANITARY LATERAL NOTES:

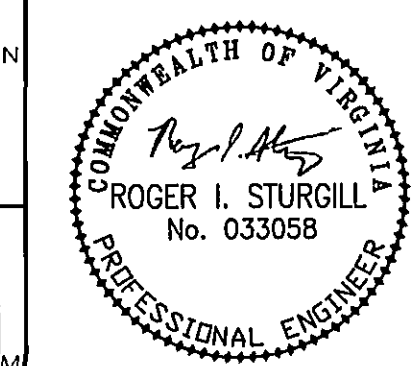
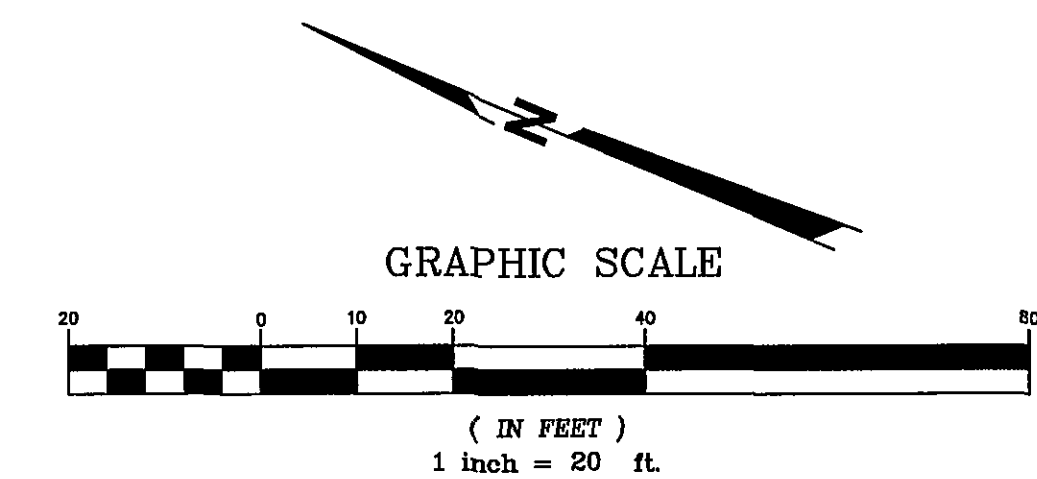
1. THE PROPOSED 6" SEWER LINE SHALL MEET THE MINIMUM STANDARD ESTABLISHED BY THE WWA.
2. A DETAIL OF THE PROPOSED CLEANOUT AND PIPE MATERIAL IS SHOWN ON A DETAIL LOCATED ON SHEET C-12 AS DETAIL S-08. ALL CLEANOUTS LOCATED WITHIN THE PAVEMENT SHALL BE TRAFFIC BEARING TOPS.

FIRE LANE NOTES:

1. THE CURB SHALL BE PAINTED YELLOW IN THE INDICATED AREA. "NO PARKING FIRE LANE" SIGNS SHALL BE PLACED AT THE END AND BEGINING OF THE FIRE LANE.

LEGEND

- REGULAR ASPHALT PAVING
- HEAVY DUTY/ PARKING LOT ASPHALT PAVING
- ROUTE 117 PAVING
- CONCRETE SIDEWALK/ DRIVE-THRU



PROFFERED CONDITIONS FOR PARCEL 27.13-5-1 PER ORDINANCE 121906-7 DATED DECEMBER 19, 2006.

1. THE DEVELOPER HEREBY PROFFERS GENERAL CONFORMANCE WITH THE "BOJANGLES RESTAURANT - CONCEPT MASTERPLAN", PREPARED BY BALZER AND ASSOCIATES INC. DATED OCTOBER 27, 2006, REVISED NOVEMBER 15, 2006, AND LAST REVISED NOVEMBER 27, 2006. SUBMITTED WITH REZONING AND SPECIAL USE PERMIT APPLICATION 31-12/ 2006 WITH NO DEVIATION FROM THE SHARED ENTRANCE WITH THE PROPERTY TO THE NORTH AS SHOWN.

SPECIAL USE PERMIT CONDITIONS FOR PARCEL 27.13-5-1 PER ORDINANCE 121906-7 DATED DECEMBER 19, 2006.

- A MONUMENT-STYLE SIGN SHALL BE CONSTRUCTED MEASURING NO GREATER THAN 5- FEET TALL AND 7- FEET WIDE. THE SIGN FACE SHALL BE SURROUNDED BY BRICK TO MATCH THE BUILDING AND SHALL INCLUDE ARCHITECTURAL FEATURES SUCH AS A PRE-CAST CONCRETE CAP AND BASE.
- SIGNAGE PLACED ON THE BUILDING SHALL OCCUPY LESS THAN 5 PERCENT OF THE BUILDING FACADE AREA.
- OFF-PREMISES SIGNS SHALL BE PROHIBITED.
- THE BUILDING SHALL BE CONSTRUCTED IN A STYLE SUBSTANTIALLY CONFORMING TO EXHIBIT B, AN ACCEPTED PROFFERED EXTERIOR FROM THE NOVEMBER 2005 SEASIDE HEIGHTS LLC REZONING AND SPECIAL USE PERMIT FOR A BOJANGLES DRIVE-IN RESTAURANT (CASE NUMBERS 32-12 /2004 AND 33-12 /2004). EXCEPT THAT FORM GRADE TO EYE, ALL WALLS SHALL BE CONSTRUCTED WITH AT LEAST TWO COLORS OF RED OR BROWN BRICK INSTEAD OF WHITE BRICK.
- ADDITIONAL LANDSCAPING SHALL BE PROVIDED. IN PARTICULAR, THE DUMPSTER ENCLOSURE SHALL BE SCREENED BY TREE AND SHRUB PLANTINGS, ADDITIONAL TREES SHALL BE PLANTED IN THE PARKING LOT, A PERIMETER PLANTING BED SHALL BE DESIGNED IN FRONT OF THE PARKING SPACES FACING PETERS CREEK ROAD, ADDITIONAL LANDSCAPING SHALL BE PLANTED AROUND THE PICNIC AREA TO FURTHER DELINEATE IT AS A SITE FEATURE, AND ALL PLANTS USED SHALL CONFORM TO THE PLANT PALLETTE LISTED IN THE WILLIAMSON ROAD HOLLINS VILLAGE DESIGN GUIDELINES.
- LIGHT POLES SHALL BE BLACK, GREY, OR GRAYISH BROWN. LIGHT FIXTURES SHALL BE DIRECTED DOWNWARD AND INWARD INTO THE SITE, SHALL BE NOT TALLER THAN 15 FEET IN HEIGHT, AND SHALL NOT BE COBRA-HEAD OR SHOEBOX-STYLE FIXTURES.
- DECORATIVE BUILDING LIGHTING SHALL BE USED AND FIXTURES SHALL BE RECESSED WHEREVER POSSIBLE.
- THE PICNIC AREA SHALL BE MOVED NORTHWARD AWAY FROM THE DUMPSTER. A CROSSWALK SHALL BE CONSTRUCTED TO LEAD CUSTOMERS FROM THE NEAREST BUILDING ENTRANCE ACROSS THE PARKING LOT AND AN IDENTIFIABLE PATH SHALL CONTINUE FROM THE PARKING LOT TO THE PICNIC AREA.
- THE SIDES AND REAR OF THE DUMPSTER ENCLOSURE SHALL BE BRICK CONSTRUCTION TO MATCH THE BUILDING.

MINIMUM LOT AREA: 15,000 SQ.FT.

SETBACKS FOR C2 ZONING

FRONT: 30', OR 20' WHEN ALL PARKING IS LOCATED BEHIND THE FRONT BUILDING LINE.

SIDE: NONE

REAR: 15 FEET

MAXIMUM BUILDING LOT COVERAGE IN C2 OR C1: 50%
BUILDING LOT COVERAGE PROVIDED: 5%

MAXIMUM LOT COVERAGE: 90% IN C2, 80% IN C1,
LOT COVERAGE PROVIDED: 43%

PARKING:
68 SEATS= 17 SPACES REQUIRED
15 EMPLOYEES= 4 SPACES REQUIRED
21 SPACES REQUIRED

40 SPACES PROVIDED

HANDICAP SPACES REQUIRED: 2
HANDICAP SPACES PROVIDED: 2

LOADING SPACE REQUIRED: 1
LOADING SPACE PROVIDED: 1

STACKING SPACES REQUIRED: 6
STACKING SPACES PROVIDED: 6

PROPOSED USE: DRIVE-THRU RESTAURANT

MAXIMUM BUILDING HEIGHT: 45'
PROPOSED BUILDING HEIGHT: 22.16'

LOT FRONTAGE: 267.78

NOTES:

- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, & VDOT.
- A SIGN PERMIT MUST BE OBTAINED FROM ROANOKE COUNTY PRIOR TO INSTALLATION OF THE SIGN.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATIVE PIPE SIZE OR MANHOLES OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5"x11" IF THE INFORMATION IS LEGIBLE.
- ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- CONTRACTOR TO FURNISH ALL INSTALL TAPPING SLEEVES AND VALVE, TAP TO BE MADE BY WWA. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXCAVATION AND REPAIRS PER OSHA REGULATIONS.
- A PHOTOMETRIC PLAN SHALL BE SUBMITTED TO ROANOKE COUNTY FOR REVIEW AND APPROVAL BY THE LIGHTING CONTRACTOR.
- ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, GROUND LEVEL MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED.
- THE EXPECTED OCCUPANT LOAD FOR THE PROPOSED BUILDING IS APPROXIMATELY 119.
- ACCESS TO THE RESIDENCES ALONG BURLINGTON RD SHALL BE MAINTAINED AT ALL TIMES.

TM# 027.13-05-03.00
JAMES F DOUTHAT
0 PETERS CREEK ROAD
3.81 AC
C1
USE: VACANT

SANITARY SEWER STRUCTURE SCHEDULE

A	CLEAN OUT TYP.	TOP=1109.91 INV=1094.8
B	CLEAN OUT TYP.	TOP=1110.00 INV=1103.52
C	SAMPLING MANHOLE	TOP=1110.00 INV=1109.96
D	CLEAN OUT TYP.	TOP=1110.00 INV=1111.48

STORM SEWER STRUCTURE SCHEDULE

1	DI-38 (8")	TOP=1107.50 INV=1103.5
2	144.5 LF OF 15" RCP @ 1.0%	TOP=1107.50 INV=1103.5
3	DI-38 (8")	TOP=1107.25 INV=1103.15
4	112 LF OF 15" RCP @ 1.0%	TOP=1107.25 INV=1103.07
5	DI-1 TOP W/ HG-6 HYDROGUARD W/CIRCULAR DI-7 TOP STORMWATER QUALITY FILTRATION UNIT	TOP=1103.25 INV=1099.00
6	23 LF OF 15" RCP @ 8.73%	TOP=1103.25 INV=1096.53
7	DI-38 (8")	TOP=1103.05 INV=1102.05
8	75 LF OF 15" RCP @ 4.88%	TOP=1103.05 INV=1090.10
9	DI-38 (12")	TOP=1107.50 INV=1103.5
10	32 LF OF 15" RCP @ 0.76%	TOP=1107.25 INV=1103.15
11	DI-38 (8")	TOP=1107.25 INV=1103.15
12	15 LF OF 15" RCP @ 0.53%	TOP=1107.25 INV=1103.07
13	4" CONC. STANDPIPE W/CIRCULAR DI-7 TOP	TOP=1106.68 INV=1099.00
14	43.5 LF OF 24" W/DOOT STD ES-1	TOP=1106.68 INV=1090.55
15	MH-1-DROP MANHOLE	TOP=1103.25 INV=1096.53
16	31 LF OF 24" W/DOOT STD ES-1	TOP=1103.25 INV=1090.10
17	65 LF OF 15" RCP @ 0.50%	TOP=1103.05 INV=1090.10

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BOJANGLES RESTAURANT
LAYOUT & UTILITY PLAN
HOLLINS
COUNTY OF ROANOKE, VIRGINIA

DRAWN BY: BTC
DESIGNED BY: BTC
CHECKED BY: RIS
DATE: 2-15-07

REVISIONS:
4-18-07
6-5-07
6-29-07

SCALE: 1"=20'
SHEET NO. **C-3**
JOB NO. R0600307.00

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD DIST
C7	58.12'	37.00'	37.00'	90°00'00"	N01°52'34"W	52.33'
C8	34.54'	85.00'	17.51'	23°16'53"	S31°28'59"W	34.30'

LINE TABLE

LINE	BEARING	LENGTH
L3	S46°08'45"E	98.62
L4	S43°07'26"W	8.49
L5	S19°50'33"W	51.53

NOTES:

- SEE SHEET C-11 FOR WATER/SEWER INFORMATION
- SEE SHEET C-8 FOR INTERSECTION INFORMATION