

PROJECT NAME: Apple Tree West Sec II
DATE: 12-95
TYPE:
LOCATION:
TOTAL # SHEETS: 7
A/E FIRM: Lang
OF SETS:

ARTMENT OF TRANSPORTATION
GENERAL NOTES

1. QUALITY CONTROL

Streets to be graded, paved and all structural components erected in accordance with the Virginia Department of Transportation Road and Bridge Specifications and Road Design Standards dated January 1987. All materials used shall be tested in accordance with standard policies. The Developer must contact the Office of the Resident Engineer prior to beginning any construction at which time an Inspection and Testing Procedure Policy will be drawn. The Developer will produce test reports from approved independent laboratories at the Developer's expense.

The pavement designs shown are based on a subgrade rating of CBR10 or greater. The subgrade soil is to be tested by an independent laboratory and the results submitted to the Virginia Department of Transportation prior to pavement construction. Should the CBR values be less than CBR10, then additional base material will be required in accordance with departmental specifications.

The subgrade must be approved by the Virginia Department of Transportation prior to placement of base material. Base must be approved by the Virginia Department of Transportation for depth, template and compaction before surface is applied.

2. UTILITIES

All necessary utility laterals will be placed prior to pavement base and conduit provisions made for the same (i.e. water, sewer, gas and telephone). Gas or petroleum transmission lines will not be permitted within the pavement or shoulder element (back of curb to back of curb) of this development. Service laterals crossing and pipe lines located outside the pavement but inside the right-of-way will be constructed in conformity with AASA B 31.8 Specification and Safety Regulations. Distribution lines with pressure less than 120 psi are unaffected by the above.

Permits will be required for all utilities within the street right-of-way prior to acceptance into the secondary highway system.

Any easements granted to a utility company for placement of power, telephone, etc., must be released prior to acceptance.

3. PRIVATE ENTRANCES

Standard CG-8 gutter will be provided at all entrances to private lots where standard CG-6 curb and gutter is approved for use.

Permits will be required for all private entrances constructed on street rights-of-way prior to acceptance into the secondary highway system.

4. EROSION CONTROL AND LANDSCAPING

Care must be taken during construction to prevent erosion, dust and mud from damaging adjacent property, clogging ditches, tracking public streets and otherwise creating a public nuisance to surrounding areas.

The entire construction area back of the curbs and/or pavement shall be backfilled and seeded together with ditches and channels, at the earliest possible time after final grading.

Drainage easements must be defined by excavated ditches or channels for their full length to well defined existing natural watercourses.

The road will be reviewed during construction for the need of paved gutters. If erosion is encountered in any drainage easement, it will be the responsibility of the Developer to sod, rip-rap, grout, pave, or do whatever is necessary to correct the problem.

All vegetation and overburden to be removed from shoulder to shoulder prior to conditioning (cutting and/or preparation) of the subgrade.

Minimum pavement radius of 25 feet required at all street intersections.

While these plans have been approved, such approval does not exempt connections with existing State maintained roads from critical review at the time permit applications are made. This is necessary in order that the prevailing conditions be taken into consideration regarding safety accompaniments such as turning lanes.

Standard guardrail with safety end sections may be required on fills as deemed necessary by the VDOT Engineer. After completion of rough grading operations, the VDOT Engineer shall be notified so that a field review may be made of the proposed locations.

Field review will be made during construction to determine the need and limits of paved gutter and/or ditch stabilization treatments, to determine the need and limits of additional drainage easements. All drainage easements must be cut and made to function to a natural watercourse. Any erosion problems encountered in an easement must be corrected by whatever means necessary prior to subdivision acceptance.

Contractor shall obtain entrance permit to the existing Virginia Department of Transportation right-of-way from the Resident Engineer prior to road construction.

An Inspector will not be furnished except for periodic progress inspection, the above mentioned field reviews and checking the required stone depths. The Developer will be required to post a surety to guarantee the road free of defects for one year after acceptance by the Virginia Department of Transportation.

The streets must be properly maintained until acceptance. At such time as all requirements have been met for acceptance, another inspection will be made to determine that the street has been properly maintained.

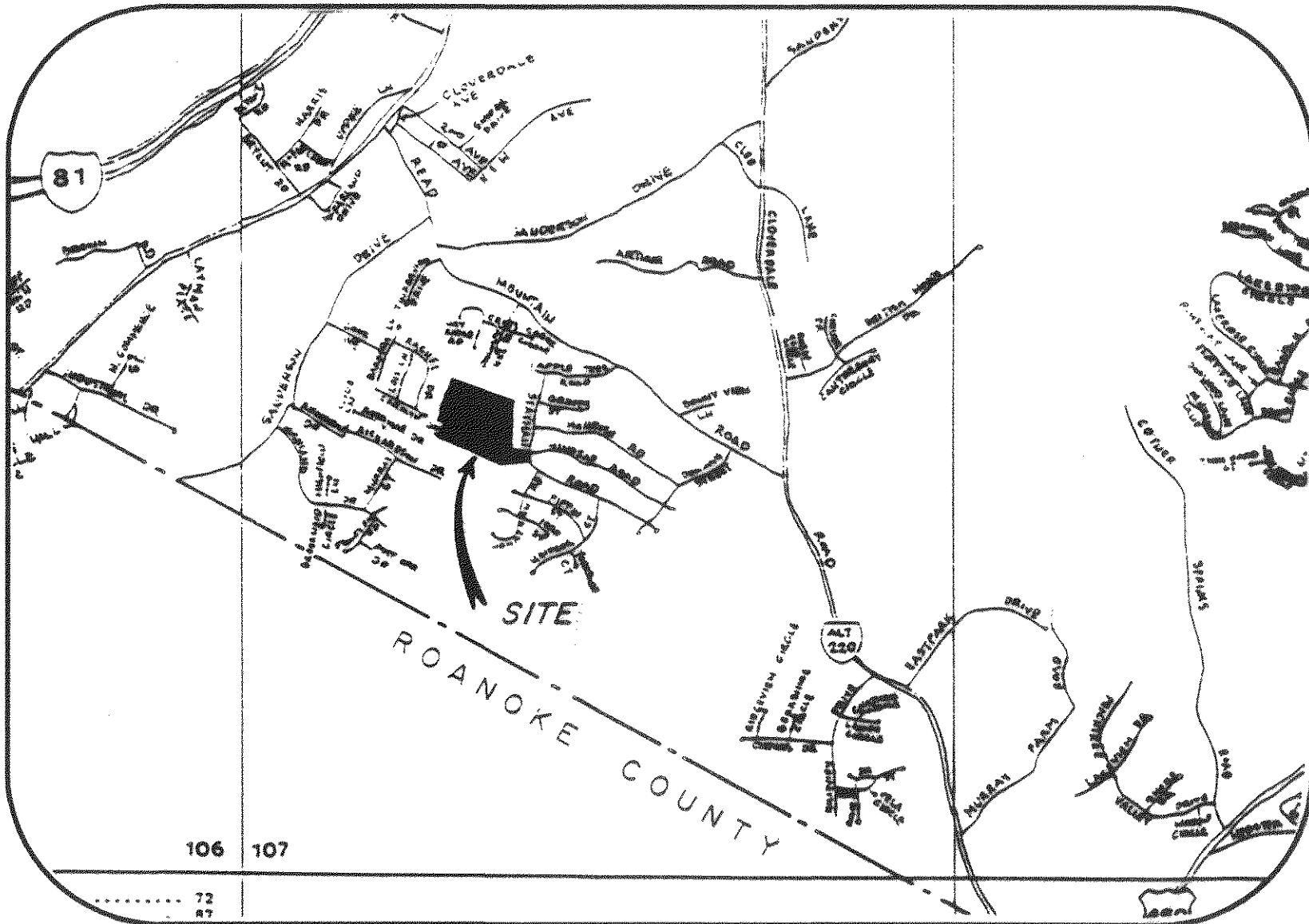
In order to meet public service requirements, all streets must serve a minimum of three occupied dwellings prior to acceptance.

The Contractor shall verify the location and elevation of all underground utilities shown on the plans in areas of construction prior to starting work. Contact the Engineer immediately if the location or elevation is different from that shown on the plan. If there appears to be a conflict, and upon discovery of any utility not shown on this plan, call "Miss Utility" of Central Virginia at 1-800-552-7001.

Approval of these plans will be based on specification and standards in effect at the time of approval and will be subject, until completion of the roadway and acceptance by the Virginia Department of Transportation, to future revisions of the Specifications and Standards.

APPLETREE WEST SECTION II

DEVELOPMENT PLANS BLUE RIDGE MAGISTERIAL DISTRICT BOTETOURT COUNTY, VIRGINIA



VICINITY MAP
SCALE: 1" = 3000'

TAX NO: 107(4)63
TRACT SIZE: 11.9005 ACRES
PRESENT ZONING: R-1
PRESENT USE: VACANT
PROPOSED USE: SINGLE FAMILY HOMES
SEWER: BOTETOURT COUNTY
DEPARTMENT OF PUBLIC WORKS
WATER: MOUNTAINVIEW WATER COMPANY

DEVELOPER: STRAUSS CONSTRUCTION
ADDRESS: 5100 BERNARD DR. S.W.
P.O. BOX 20287
ROANOKE, VA. 24018
PHONE: (703)989-7060
FAX: (703)989-7062



SANITARY SEWER
"AS-BUILTS"
APRIL 12, 1995

HORIZONTAL AND VERTICAL CONTROL SURVEY PERFORMED
IN 1992 BY ROBERT G. CANTLEY, INC.

ALL ELEVATIONS ARE REFERENCED TO THE U.S.G.S. DATUM

SOURCE OF TOPOGRAPHIC MAPPING IS ROBERT G. CANTLEY, INC.
UNLESS OTHERWISE NOTED

BOUNDARY SURVEY PERFORMED BY ROBERT G. CANTLEY, INC.

LEGEND

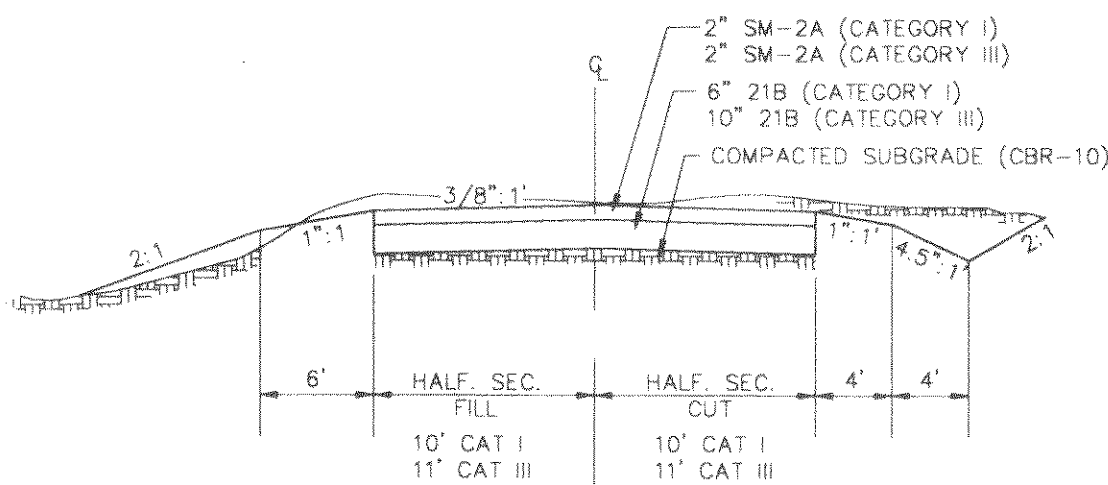
BOUNDARY:
TRACT BOUNDARY
PROPERTY LINE
RIGHT-OF-WAY
CENTERLINE
MIN. BUILDING LINE

UTILITIES:
EXISTING STORM SEWER
PROPOSED STORM SEWER
EXISTING SANITARY SEWER
PROPOSED SANITARY SEWER
EXISTING WATER MAIN
PROPOSED WATER MAIN

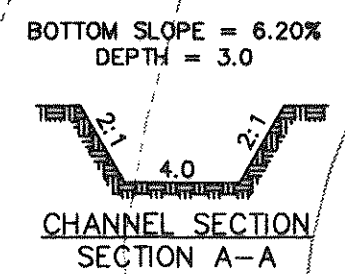
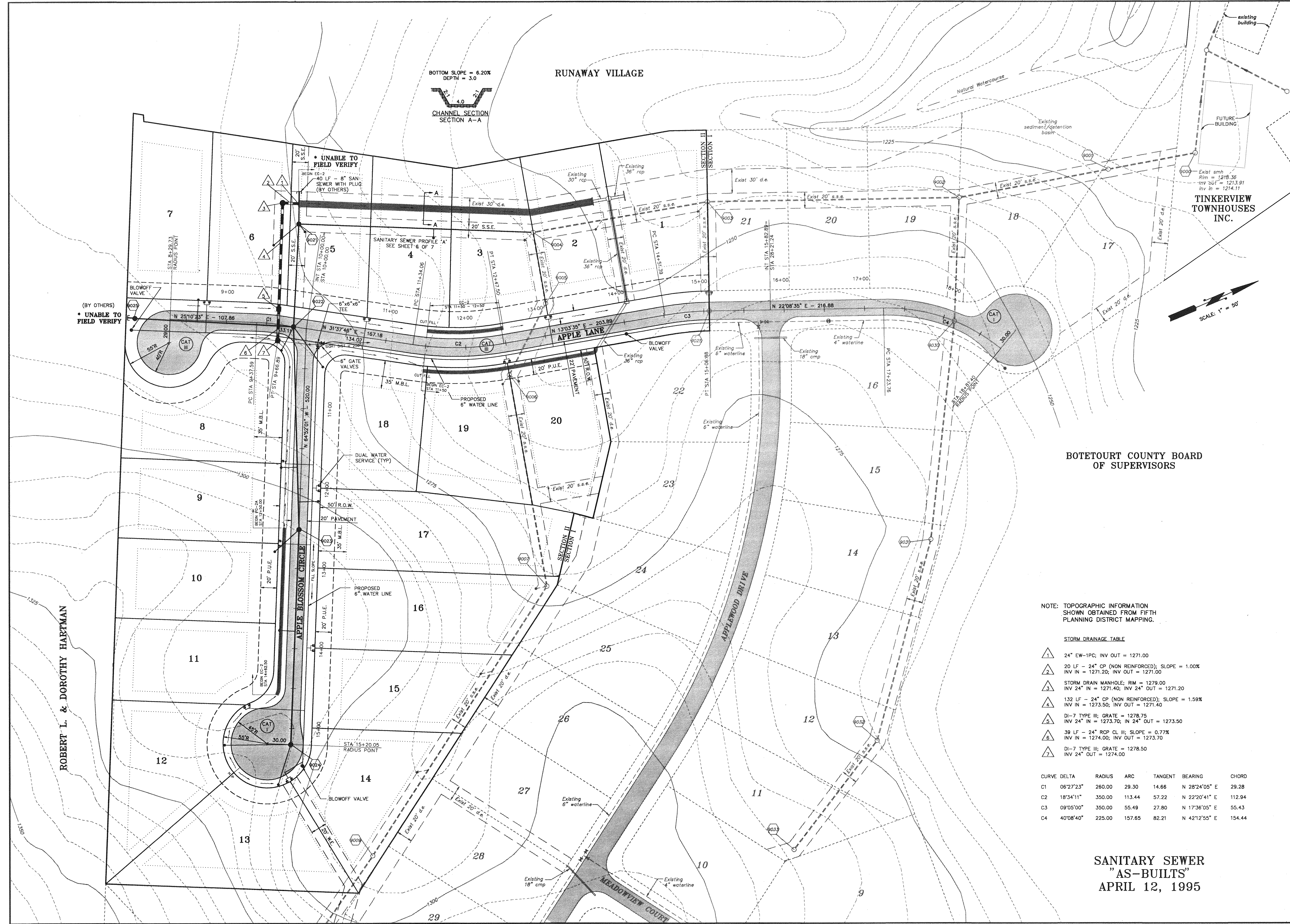
TOPOGRAPHIC:
EXISTING CONTOUR
PROPOSED CONTOUR

EROSION CONTROL DETAIL SYMBOLS:
CE Std. & Spec. 3.02; Temporary Gravel Construction Entrance
CRS Std. & Spec. 3.03; Construction Road Stabilization
SF Std. & Spec. 3.05; Silt Fence
IP Std. & Spec. 3.07; Storm Drain Inlet Protection
OP Std. & Spec. 3.18; Outlet Protection
CD Std. & Spec. 3.20; Check Dams
PS Std. & Spec. 3.32; Permanent Seeding

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	50' SCALE DEVELOPMENT PLAN
3	100' SCALE EROSION & SEDIMENT CONTROL PLAN
4	APPLE BLOSSOM CIRCLE ROADWAY PROFILE
5	APPLE LANE ROADWAY PROFILE
6	SANITARY SEWER 'A' PROFILE
7	POTABLE WATER & SANITARY SEWER DETAILS



ROADWAY SECTION



RUNAWAY VILLAGE

TINKERVIEW TOWNHOUSES INC.

BOTETOURT COUNTY BOARD OF SUPERVISORS

NOTE: TOPOGRAPHIC INFORMATION SHOWN OBTAINED FROM FIFTH PLANNING DISTRICT MAPPING.

STORM DRAINAGE TABLE

- 1 24" EW-1PC; INV OUT = 1271.00
- 2 20 LF - 24" CP (NON REINFORCED); SLOPE = 1.00%
INV IN = 1271.20; INV OUT = 1271.00
- 3 STORM DRAIN MANHOLE; RIM = 1279.00
INV 24" IN = 1271.40; INV 24" OUT = 1271.20
- 4 132 LF - 24" CP (NON REINFORCED); SLOPE = 1.59%
INV IN = 1273.50; INV OUT = 1271.40
- 5 DI-7 TYPE III; GRATE = 1278.75
INV 24" IN = 1273.70; INV 24" OUT = 1273.50
- 6 39 LF - 24" RCP CL III; SLOPE = 0.77%
INV IN = 1274.00; INV OUT = 1273.70
- 7 DI-7 TYPE III; GRATE = 1278.50
INV 24" OUT = 1274.00

CURVE DELTA	RADIUS	ARC	TANGENT	BEARING	CHORD
C1 06°27'23"	260.00	29.30	14.66	N 28°24'05" E	29.28
C2 18°34'11"	350.00	113.44	57.22	N 22°20'41" E	112.94
C3 09°05'00"	350.00	55.49	27.80	N 17°36'05" E	55.43
C4 40°08'40"	225.00	157.65	82.21	N 42°12'55" E	154.44

SANITARY SEWER
"AS-BUILTS"
APRIL 12, 1995

DATE
6
5
4
3
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1
REVISED PER VDOT REVIEW
06/24/94

SCALE: 1" = 50'
DRAWN BY: MMB
CHKD: R.G.L.

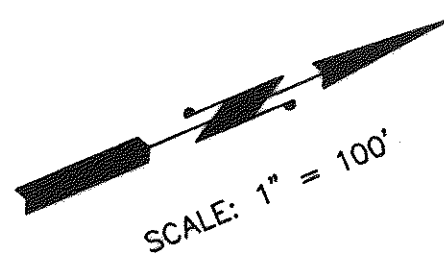
DATE: APRIL 14, 1994
JOB No.: 940215
ACAD #: 940215

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-LANG-
engineering co.
Consulting Engineers - Land Planners
P.O. BOX 18062 ROANOKE, VA 24014
(703)772-0077

APPLETREE WEST
SECTION II
DEVELOPMENT PLAN
BLUE RIDGE MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

SHEET NO.
2
7
OF



TUMBLING LOAM
7-15% SLOPES
FIELD SYMBOL 55C

FREDRERICK VERY
GRAVELLY LOAM
15-30% SLOPES
FIELD SYMBOL 23D

TUMBLING COBBLY LOAM
15-30% SLOPES
FIELD SYMBOL 56D

APPLE TREE VILLAGE
SECTION II

TINKERVIEW
TOWNHOUSES
INC.

BOTETOURT COUNTY BOARD
OF SUPERVISORS

EROSION AND SEDIMENT CONTROL NOTES:

ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REGULATIONS, INCLUDING THE STANDARDS AND SPECIFICATIONS OF THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK" LATEST EDITION. REFER TO THIS HANDBOOK FOR DETAILS AND SPECIFICATIONS OF EROSION CONTROL DEVICES.

A PRECONSTRUCTION MEETING INVOLVING THE ENGINEER, OWNER AND CONTRACTOR SHALL BE HELD AT THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO THE BEGINNING OF ANY GRADING OPERATIONS.

EXCESS EXCAVATION, AS WELL AS ORGANIC MATERIAL AND DEBRIS SHALL BE DISPOSED OF AS DIRECTED BY THE ENGINEER.

ALL DENUDED AREAS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF FINAL GRADING.

THE CONTRACTOR SHALL CHECK THE CONDITIONS OF THE EROSION CONTROL DEVICES AT THE END OF EACH DAY AND AFTER EVERY RAINFALL.

NOTE: THE OWNER/DEVELOPER OF THE PROJECT, STRAUSS CONSTRUCTION, INC., HEREBY AGREE TO INSTALL ALL PROPOSED AND APPROVED EROSION AND SEDIMENT CONTROL DEVICES ACCORDING TO THE ENGINEERING PLANS AND EROSION CONTROL NARRATIVE.

EROSION CONTROL DETAIL SYMBOLS:

- CRS Std. & Spec. 3.03; Construction Road Stabilization
- SF Std. & Spec 3.05; Silt Fence
- IP Std. & Spec. 3.07; Storm Drain Inlet Protection
- OP Std. & Spec. 3.18; Outlet Protection
- CD Std. & Spec. 3.20; Check Dams
- PS Std. & Spec. 3.32; Permanent Seeding

NOTE: AN APPROVED E&S CONTROL PLAN MAY BE AMENDED BY THE PLAN APPROVING AUTHORITY IF ON-SITE INSPECTION INDICATES THAT THE APPROVED CONTROL MEASURES ARE NOT EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION, OR IF, BECAUSE OF CHANGED CIRCUMSTANCES, THE APPROVED PLAN CAN NOT BE CARRIED OUT.

NOTE: TOPOGRAPHIC INFORMATION SHOWN
HEREON WAS OBTAINED FROM FIFTH
PLANNING DISTRICT MAPPING.

SANITARY SEWER
"AS-BUILTS"
APRIL 12, 1995

DATE	REVISIONS
	6
	5
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DATE: APRIL 25, 1994	SCALE: 1" = 100'	DRAWN BY: MMB	CHKD: R.G.L.
JOB No.: 940215			
ACAD # 940215S			

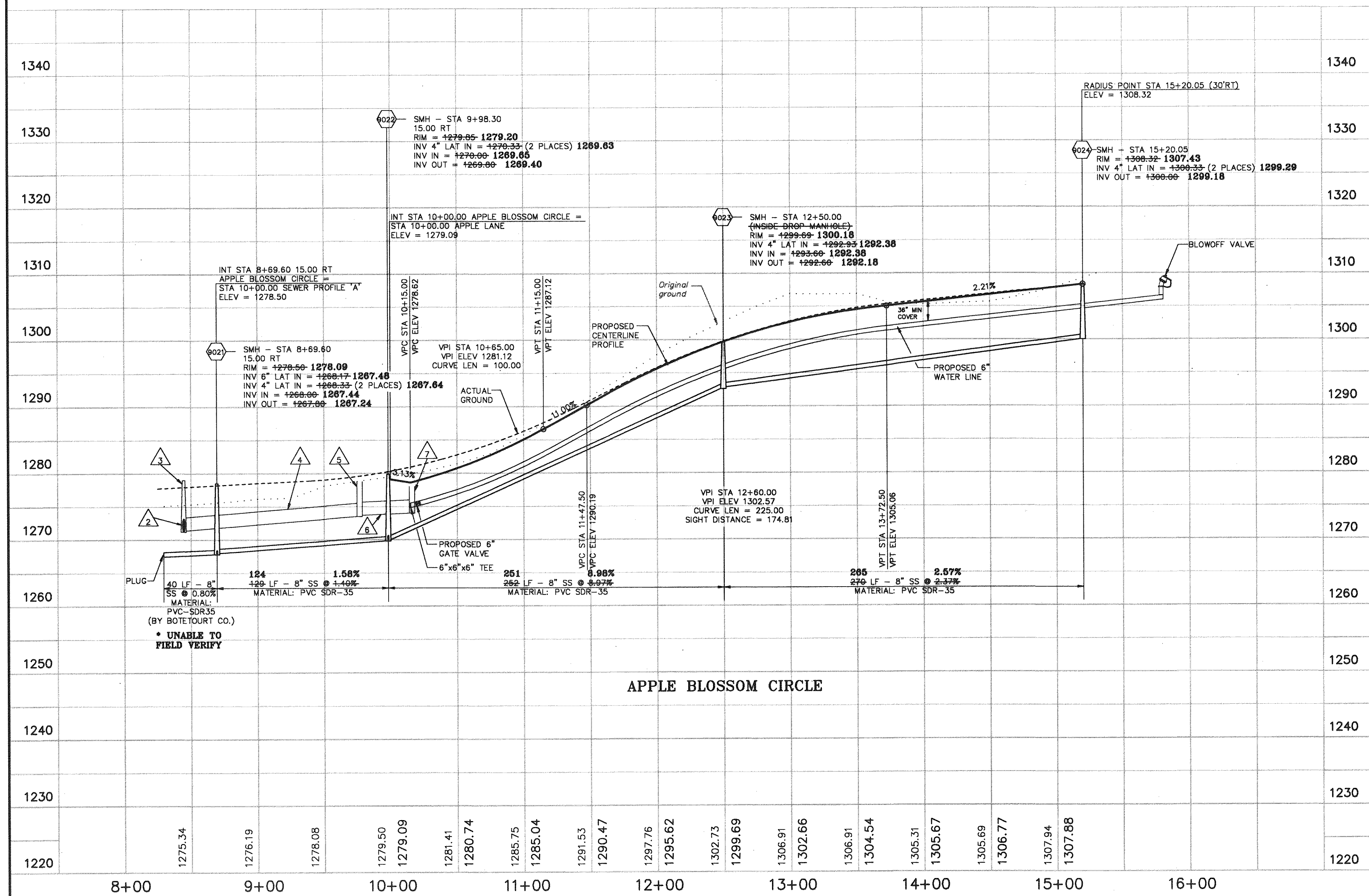
-LANG- engineering co.
Consulting Engineers - Land Planners
P.O. BOX 18062 ROANOKE, VA. 24014
(703)772-0077

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APPLETREE WEST SECTION II EROSION & SEDIMENT CONTROL PLAN BLUE RIDGE MAGISTERIAL DISTRICT BOTETOURT COUNTY, VIRGINIA
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SHEET NO.
3
7
OF

SCALES:
1" = 50' HOR
1" = 10' VER

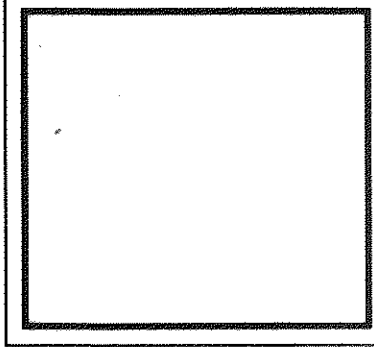


SANITARY SEWER
"AS-BUILTS"
APRIL 12, 1995

REVISIONS		DATE
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ACAD # RCP01070	CHKD: R.C.L.
REVISED PER VDOT REVIEW 06/27/94	

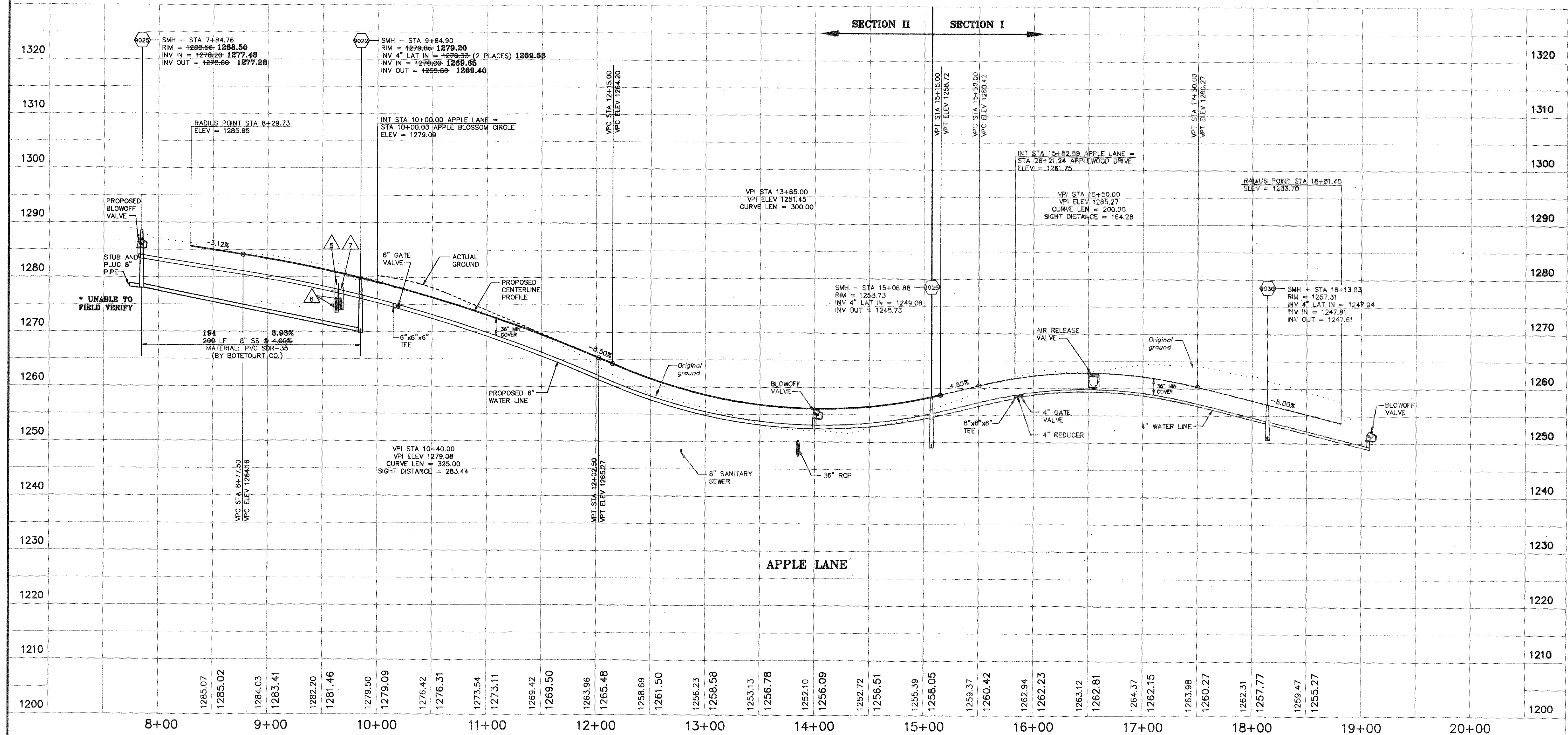
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APPLETREE WEST
SECTION II
CAROLYN DRIVE ROADWAY PROFILE
BLUE RIDGE MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

SHEET NO. 4
7 OF

SCALES:
1" = 50' HOR
1" = 10' VER



SANITARY SEWER
"AS-BUILTS"
APRIL 12, 1995

APPLETREE WEST
SECTION II
APPLE LANE ROADWAY PROFILE
BLUE RIDGE MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

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DATE: APRIL 25, 1994
JOB No.: 940215
ACAD # RCP01071
SCALE: 1" = 50'
DRAWN BY: MMB
CHKD: R.G.L.

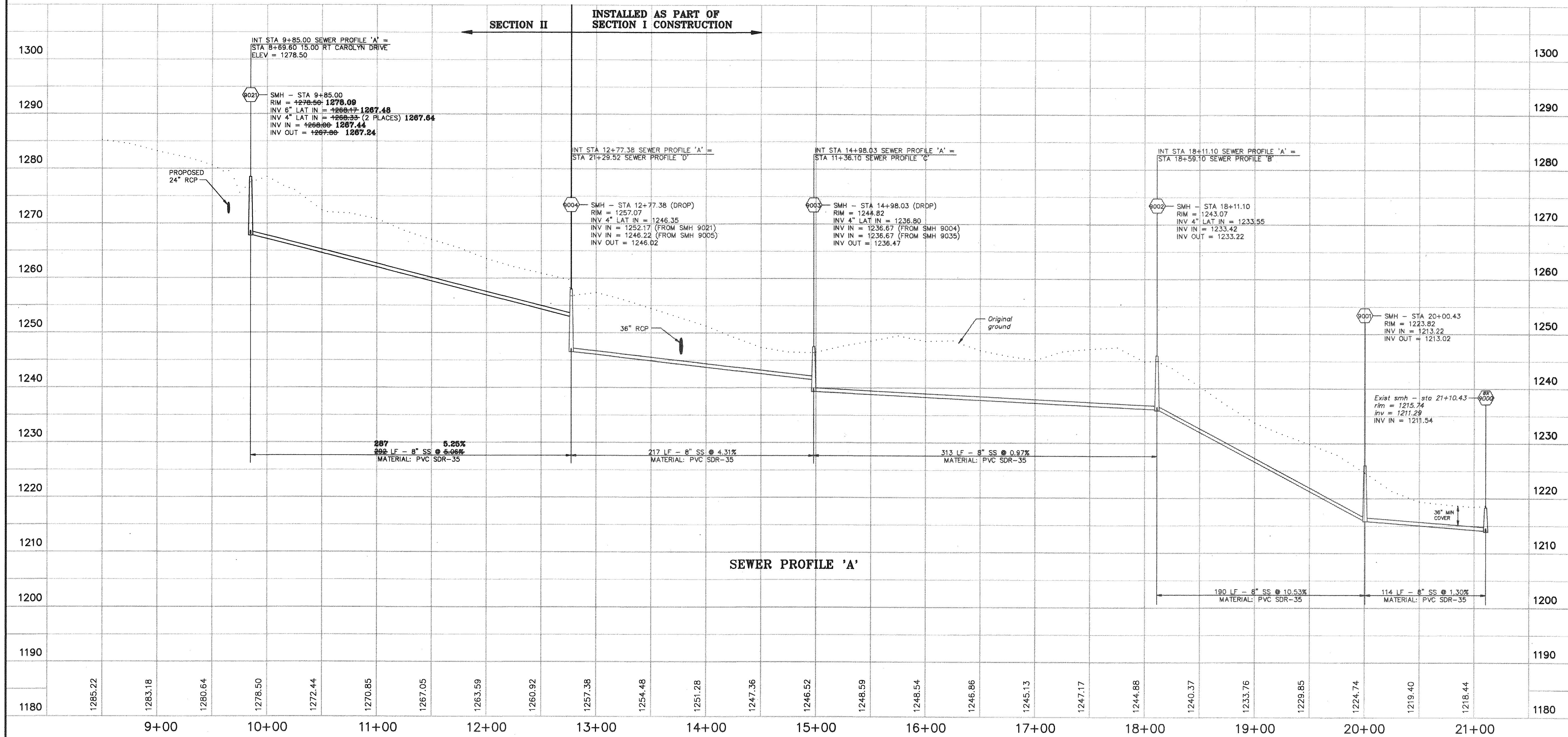
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JOB No.: 940215
ACAD #: RCP01071

SCALE: 1" = 50'
DRAWN BY: MMB
CHKD: R.G.L.

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REVISIONS	REVISE PER COUNTY REVIEW	DATE
6		
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		06/27/94

SCALES:
1" = 50' HOR
1" = 10' VER



SANITARY SEWER
"AS-BUILTS"
APRIL 12, 1995

DATE	APRIL 25, 1994	SCALE: 1" = 50'	DATE	06/27/94
REVISIONS	6 5 4 3 2 1	DRAWN BY: MMB ACAD #: RCP01075 CHKD: R.G.L.	REVISIONS	1 2 3 4 5 6

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APPLETREE WEST
SECTION II
SANITARY SEWER PROFILE "A"
BLUE RIDGE MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

SHEET NO. 6
OF 7

