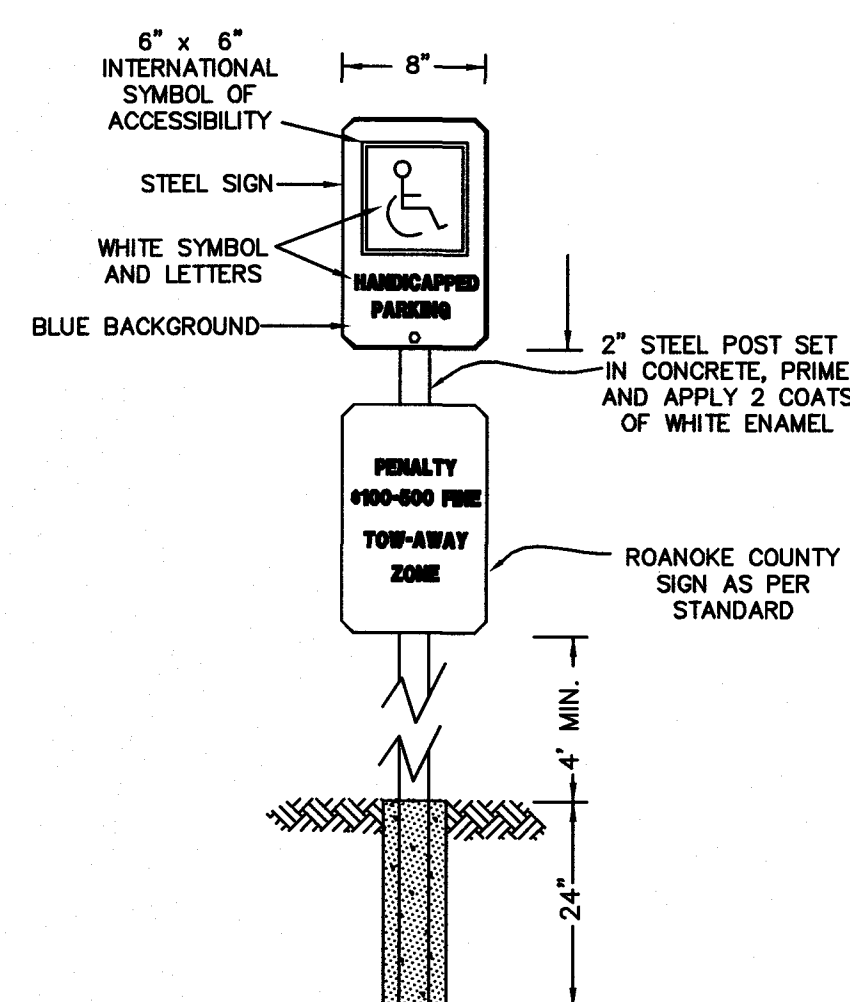
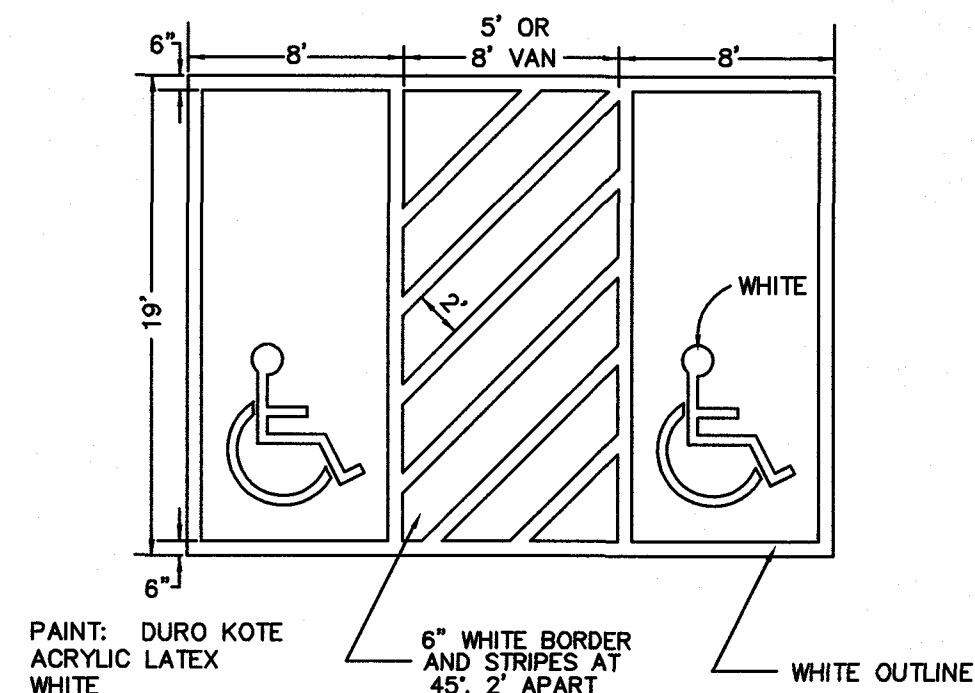


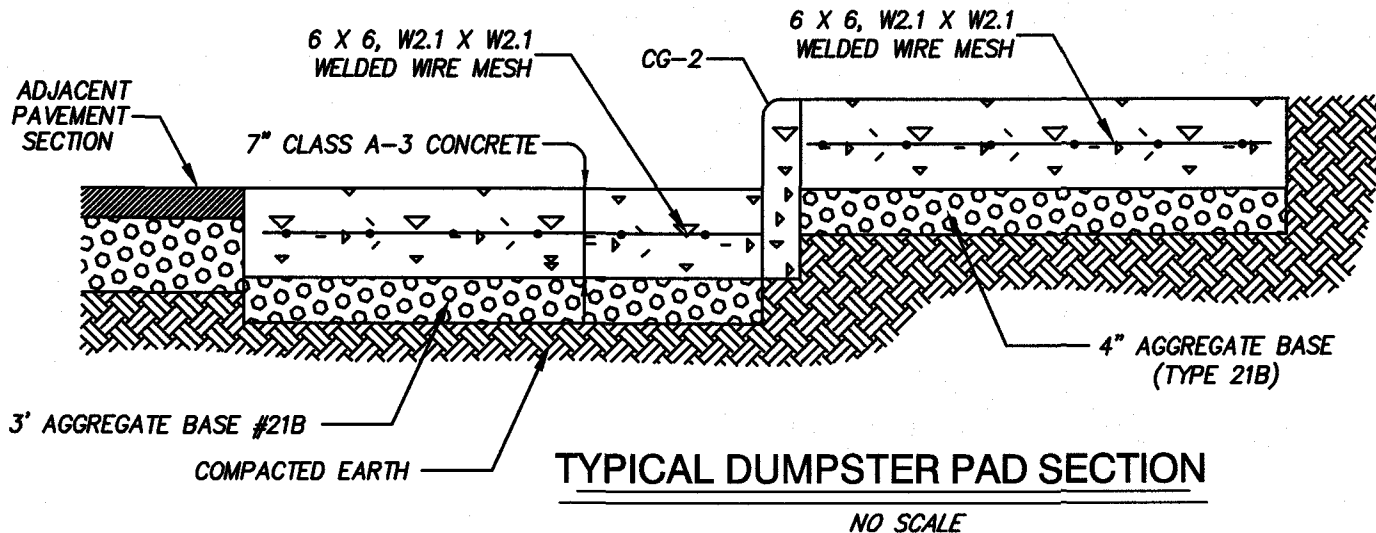
VAN ACCESSIBLE  
HANDICAP PARKING SIGN (S1)



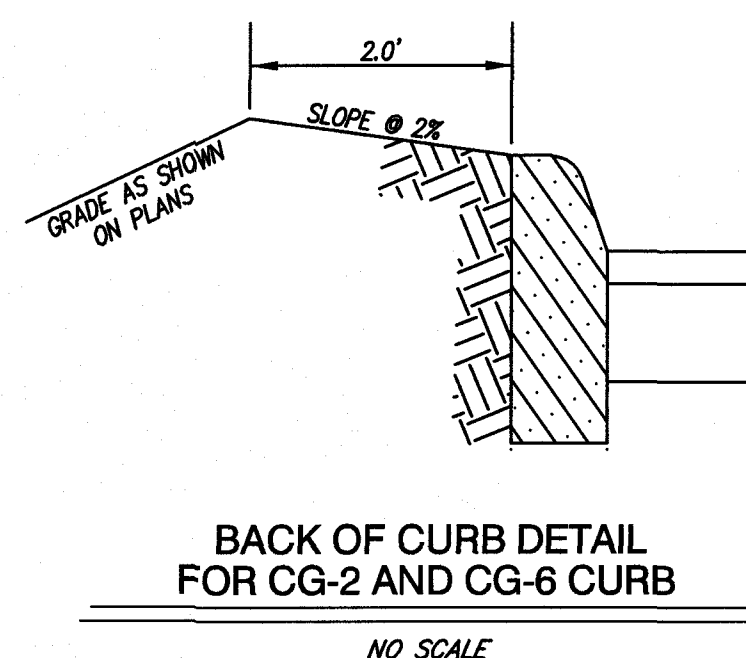
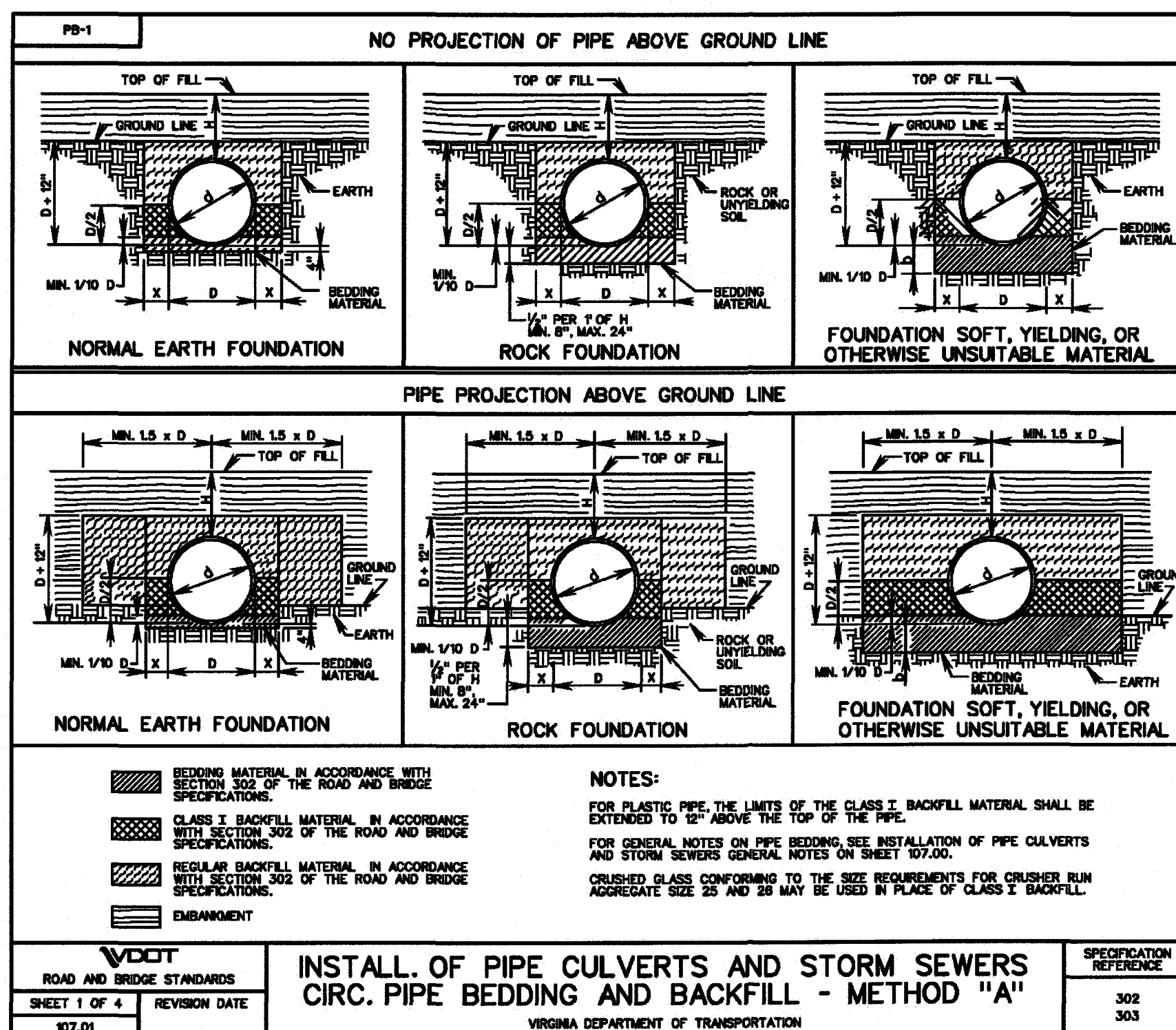
HANDICAP PARKING SIGN (S2)



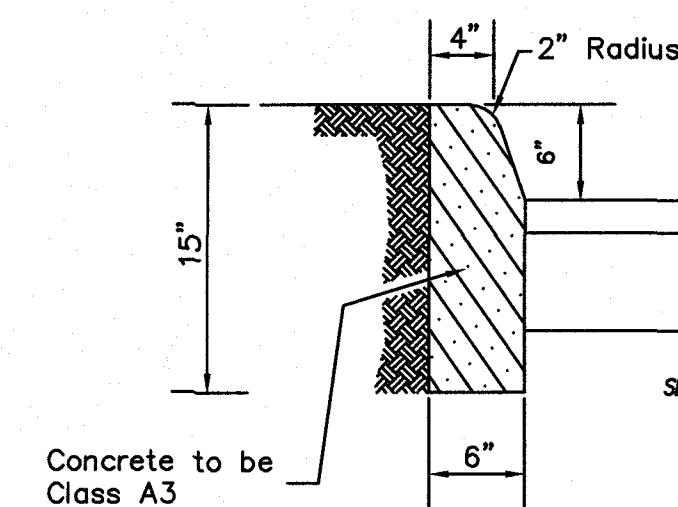
HANDICAP PARKING SPACE



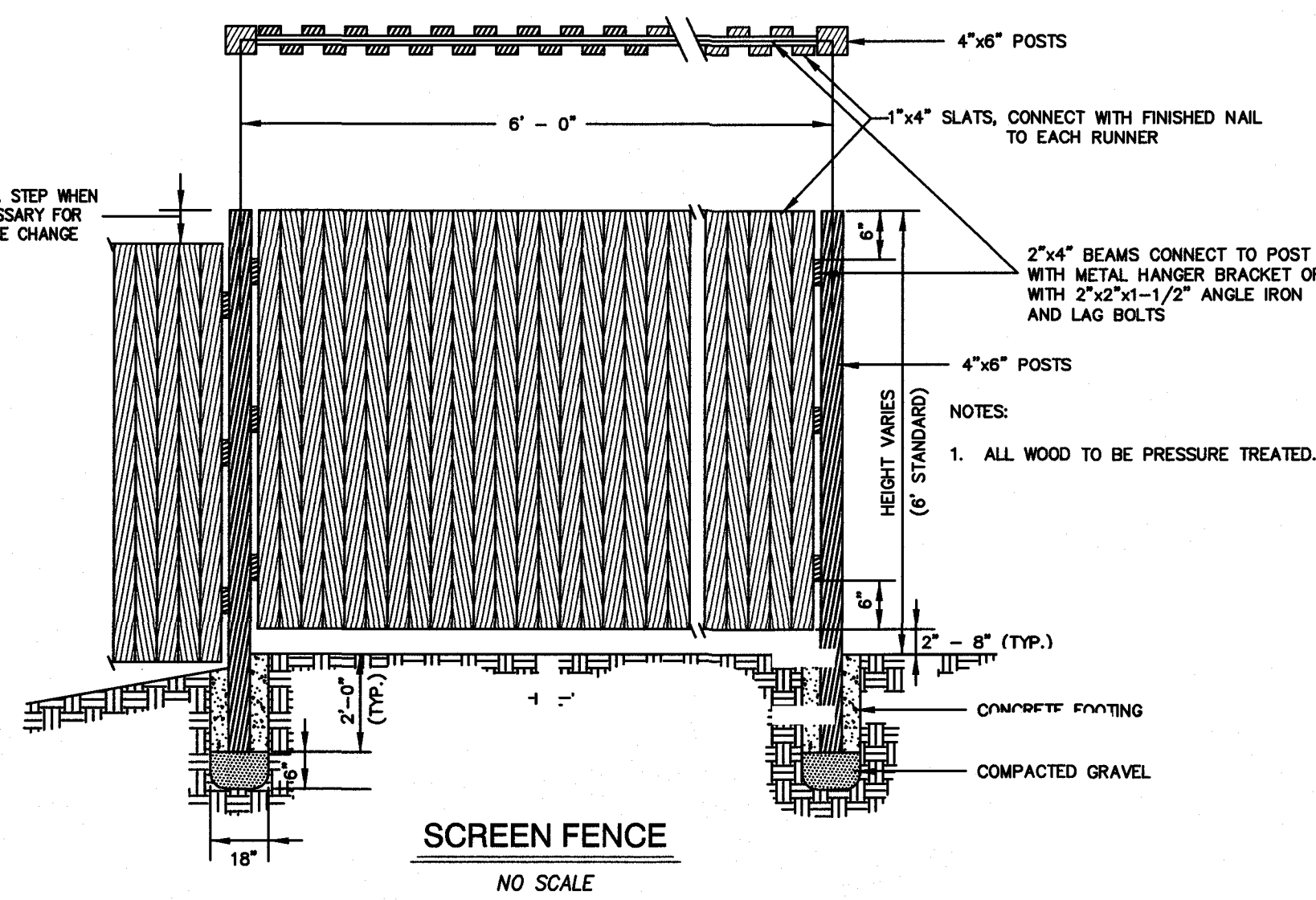
TYPICAL DUMPSTER PAD SECTION



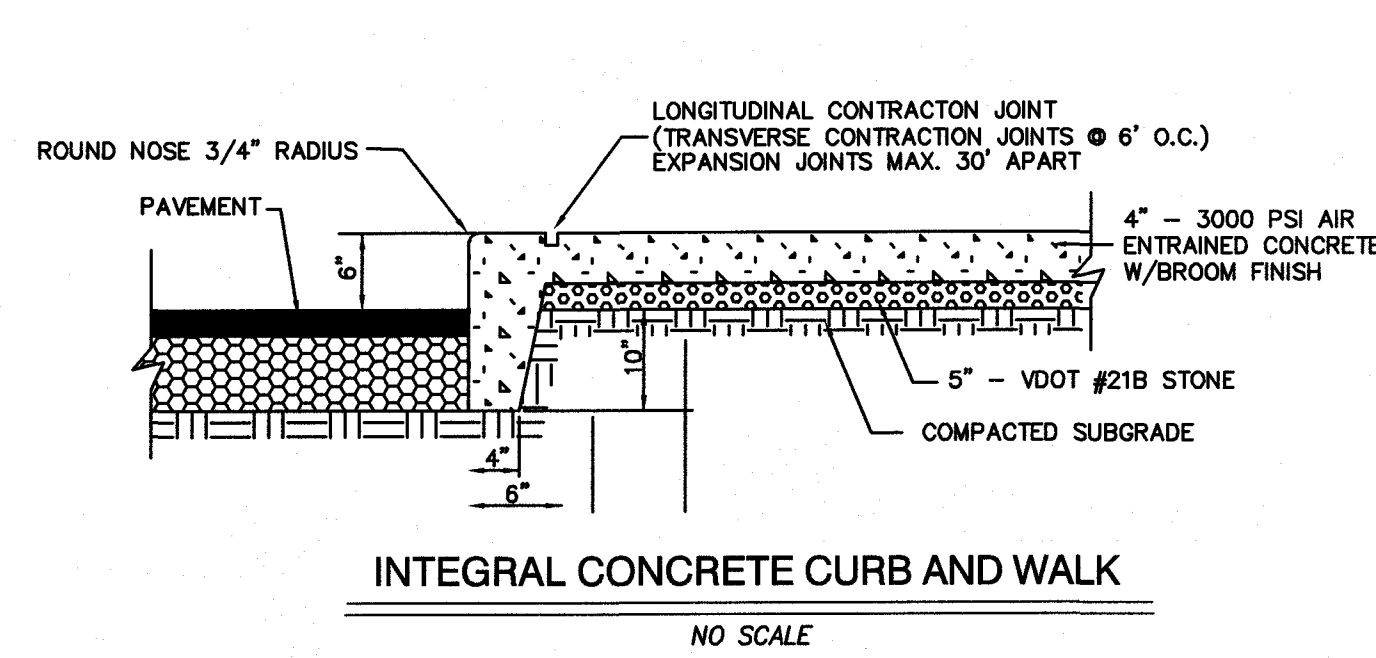
BACK OF CURB DETAIL  
FOR CG-2 AND CG-6 CURB



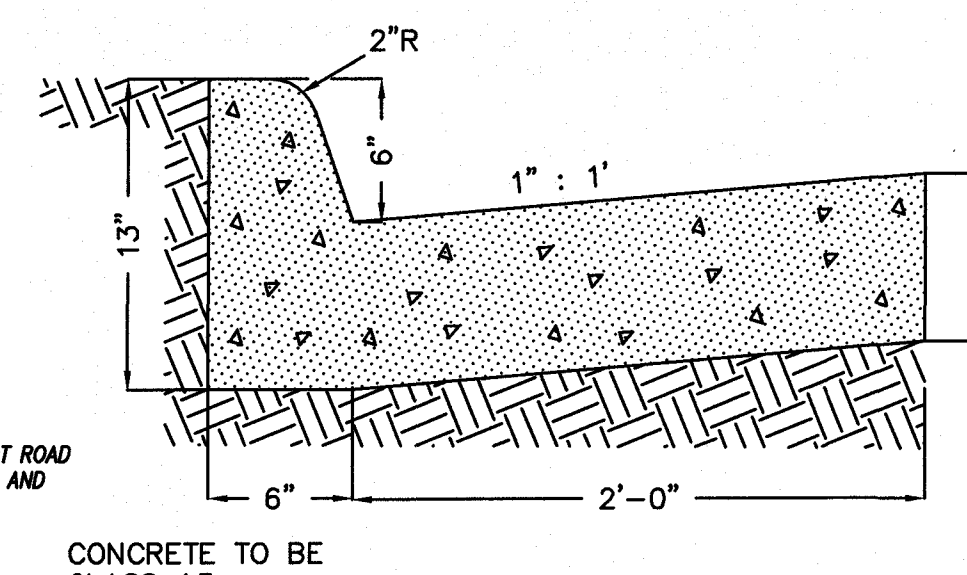
CONCRETE CURB (CG-2)



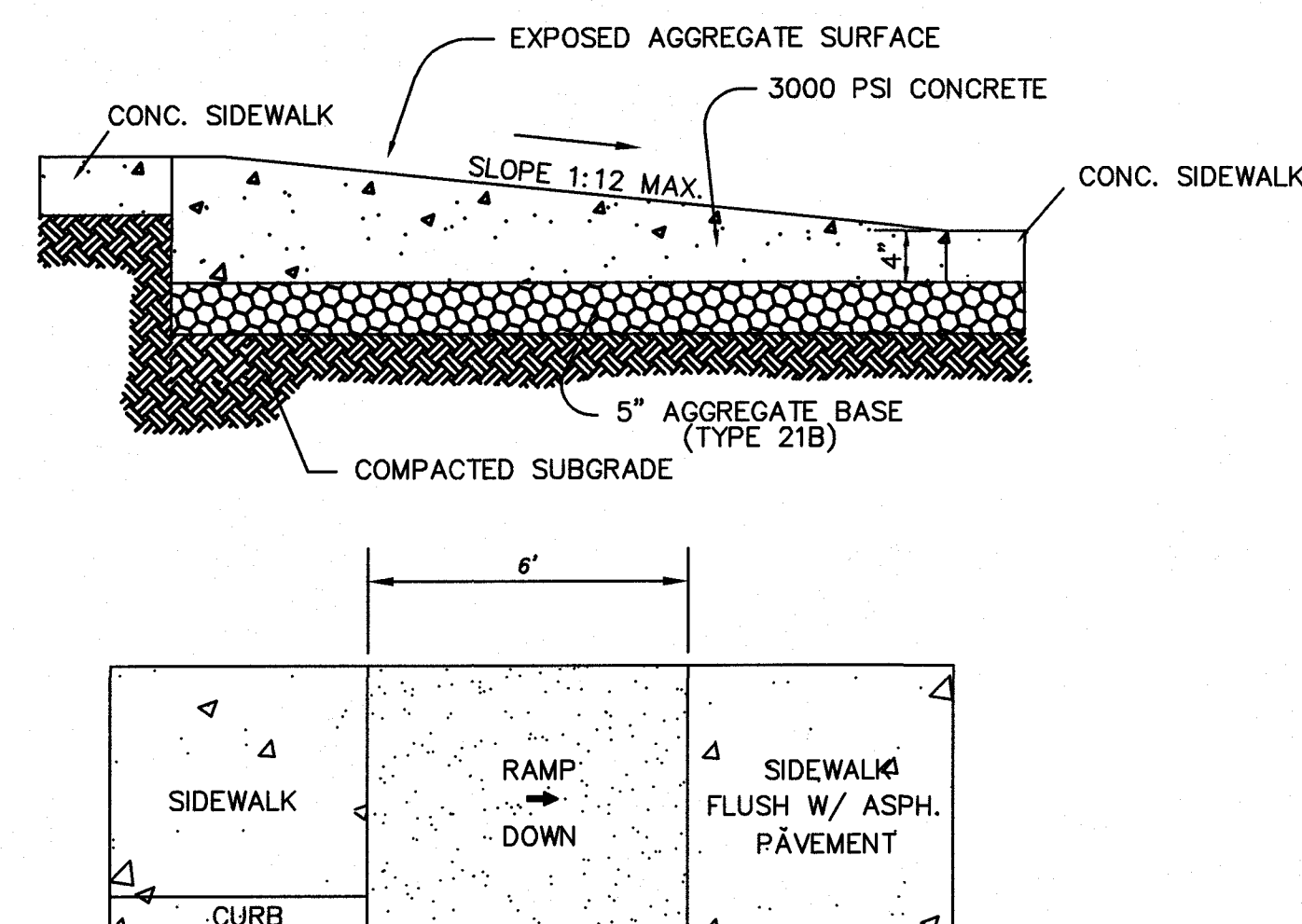
SCREEN FENCE



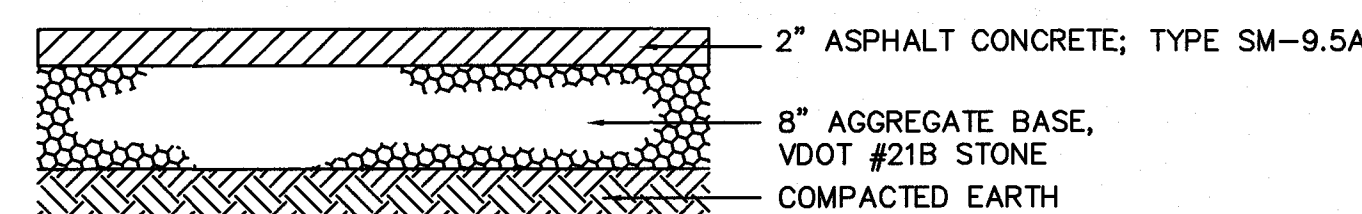
INTEGRAL CONCRETE CURB AND WALK



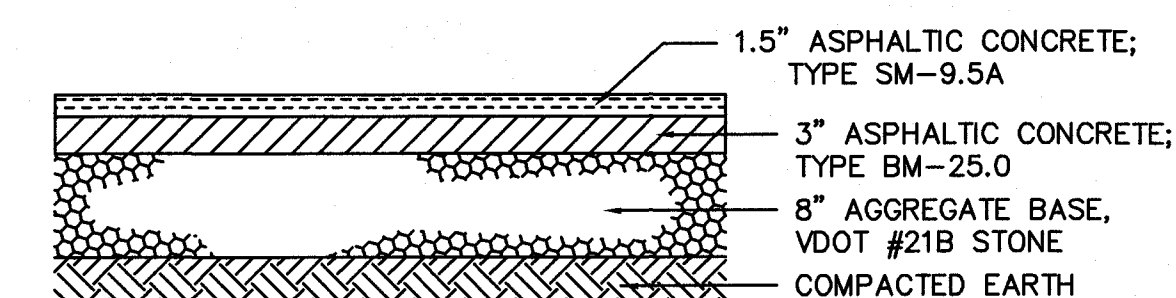
CONCRETE CURB & GUTTER (CG-6)



HANDICAP RAMP DETAIL



ASPHALT PAVEMENT DETAIL (PARKING LOT)



HEAVY DUTY PAVEMENT DETAIL (PARKING LOT)

ASPHALT PAVEMENT NOTE:

- IF THE EXISTING PAVEMENT DOES NOT MEET THE STANDARD PAVEMENT DETAIL IT SHALL BE REPLACED OR SUPPLEMENTED AS NEEDED.
- THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING SM-9.5A FOR STANDARD PAVEMENT ONLY.

**APPROVED**

## SITE AND ZONING TABULATIONS

CURRENT ZONING: SC (SHOPPING CENTER) WITH SEP FOR MEDICAL CARE FACILITY\*  
\*THE SPECIAL EXCEPTION PERMIT ALLOWING FOR THE USE, MEDICAL CARE FACILITY, IS CONDITIONED UPON THE FACILITY NOT BEING USED FOR A DRUG REHABILITATION CLINIC THAT TREATS DRUG ADDICTIONS.

EXISTING USE: VACANT LAND  
DAVITA KIDNEY CARE SITE ACREAGE: 1.04 AC.  
PROPOSED USE: MEDICAL CARE FACILITY

\* ALL BUILDINGS SHALL BE CONSTRUCTED WITH BUILDING MATERIALS, WINDOW GLAZING, BUILDING COLORS AND OTHER BUILDING REQUIREMENTS INCLUDED WITHIN THE TIMBERBROOK SHOPPING CENTER DISTRICT DESIGN GUIDELINES.

MAXIMUM FLOOR AREA RATIO = 25% OF THE LOT AREA = 11,326 SF.  
PROPOSED FLOOR AREA RATIO = 16.9% OF THE LOT AREA = 7,669 SF.

YARD REQUIREMENTS FOR MAIN BUILDING:

MINIMUM FRONT: 50'  
MINIMUM REAR: 10'  
MINIMUM SIDE: 10'

MAXIMUM BUILDING HEIGHT: 35'

MAXIMUM IMPERVIOUS COVERAGE ALLOWED: 60% OF 1.04 AC. LOT AREA = 0.62 AC  
IMPERVIOUS COVERAGE PROVIDED:

0.62 AC. OF PROP. IMPERVIOUS ON NEW LOT = 60% COVERAGE\*

\*AN ADDITIONAL 0.15 AC. OF IMPERVIOUS AREA IS PROPOSED FOR FUTURE SHARED PARKING ON THE REMAINING PORTION OF TM# 101-44C.

MINIMUM GOODWILL OFF-STREET PARKING REQUIRED = 65  
TOTAL GOODWILL PARKING SPACES PROVIDED = 79 (INCLUDES 4 HC SPACES)  
TOTAL AVAILABLE GOODWILL SHARED PARKING SPACES = 14

MINIMUM OFF-STREET PARKING REQUIRED:

1 SPACE PER EXAM ROOM\* + 1 SPACE PER EMPLOYEE ON THE GREATEST EMPLOYEE SHIFT. \*FACILITY WILL NOT HAVE EXAM ROOMS. IN LIEU OF EXAM ROOMS THE NUMBER OF TREATMENT CHAIRS WILL BE USED.

1 SPACE PER TREATMENT CHAIR + 1 SPACE PER EMPLOYEE ON THE GREATEST EMPLOYEE SHIFT. 17 CHAIRS + 15 EMPLOYEES = 32 PARKING SPACES

TOTAL ON-SITE PARKING SPACES PROVIDED = 21 (INCLUDES 4 HC SPACES)  
SHARED PARKING PER CROSS PARKING AGREEMENT WITH GOODWILL INDUSTRIES: (PER RECORDED AGREEMENT INSTRUMENT NO. 170004351)

SHARED PARKING FROM GOODWILL = 11 SPACES  
GOODWILL HAS 3 UNUSED EXTRA PARKING SPACES REMAINING  
ADDITIONAL 21 SPACES CONSTRUCTED FOR FUTURE BUILDING ON REMAINING LAND

\* NO LIGHTING PLAN IS BEING PROPOSED AT THIS TIME. A LIGHTING PLAN DEMONSTRATING COMPLIANCE WITH THE TIMBERBROOK SHOPPING CENTER DISTRICT DESIGN GUIDELINES AND ZONING ORDINANCE IS REQUIRED TO BE SUBMITTED AND APPROVED PRIOR TO THE INSTALLATION OF ANY OUTDOOR LIGHTING.

## GENERAL NOTES

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT BOTETOURT COUNTY TAX PARCEL 101-44C  
OWNER/DEVELOPER: TIMBERBROOK ASSOCIATES LLC  
ATTN: STEVE STRAUSS  
5100 BERNARD DR.  
ROANOKE, VA 24018  
PHONE: (540)-989-7060
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2017.
- TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2017.
- NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
- THE PROPERTY SHOWN HEREON IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE CURRENT FLOOD INSURANCE RATE MAPS SEE COMMUNITY PANEL #S10018 0368 C, DATED DECEMBER 17, 2010, UNSHADED ZONE "X".
- THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY PUBLIC WATER AND PUBLIC SEWER.
- THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY A PUBLIC ROAD.
- A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ANY EXTERIOR SIGNAGE.
- NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, BOTETOURT COUNTY, AND VDOT.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILTED OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.

## CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO CURRENT WYMA, VDOT AND/OR COUNTY OF BOTETOURT STANDARDS AND SPECIFICATIONS.
- ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY WYMA & BOTETOURT COUNTY INSPECTORS. THE CONTRACTOR SHALL NOTIFY THE WYMA & PROPER COUNTY OFFICIALS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "MISS UTILITY" PRIOR TO THE START OF CONSTRUCTION AND COMPLY WITH VIRGINIA'S UNDERGROUND UTILITY DAMAGE PREVENTION ACT.
- NEW SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH THE WYMA INSPECTOR ON SITE.
- SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
- THE CONTRACTOR AND/OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
- NO DEVIATION TO THE DEVELOPMENT PLANS SHALL BE MADE WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER.
- ANY ALTERATIONS TO THE UTILITY INFRASTRUCTURE, GRADE CHANGES, OR ANY ALIGNMENT CHANGES SHALL REQUIRE A NEW SET OF PLANS SEALED BY THE CONSULTING ENGINEER, AND SHALL REQUIRE APPROVAL BY BOTETOURT COUNTY.

## GRADING NOTES

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
- NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

LUMSDEN ASSOCIATES, P.C.  
ENGINEERS-SURVEYORS-PLANNERS  
ROANOKE, VIRGINIA

4664 BRAMBLETON AVENUE  
P.O. BOX 20669  
ROANOKE, VIRGINIA 24018

ANDREW P. LUMSDEN  
Lic. No. 052216  
11/6/17  
PROFESSIONAL ENGINEER

NOTES AND  
DETAILS

SITE DEVELOPMENT PLAN FOR  
DAVITA KIDNEY CARE  
PREPARED FOR  
TIMBERBROOK ASSOCIATES, LLC  
AMSTERDAM MAGISTERIAL DISTRICT  
BOTETOURT COUNTY, VIRGINIA

REVISIONS		DESCRIPTION
NO.	DATE	
1		
2		
3		
4		
5		
DATE:		November 8, 2017
SCALE:		NONE
COMMISSION NO.:		17-078
SHEET		2 OF 10