

GREENFIELD SHELL BUILDING

INTERNATIONAL PARKWAY DALEVILLE, VA 24083

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LEGEND

-----348-----	EX. INTRMDT. CONTOUR	-----	PROP. INTRMDT. CONTOUR
-----345-----	EX. INDEX CONTOUR	-----1320-----	PROP. INDEX CONTOUR
+ 35.55	EX. SPOT ELEVATION	35.55 35.05	PROP. SPOT ELEVATION
-----8" WL-----	EX. WATER LINE	-----8" WL-----	PROP. WATER LINE
-----8" SAN-----	EX. SANITARY SEWER	-----8" SAN-----	PROP. SANITARY SEWER
-----18" RCP-----	EX. STORM PIPE	-----	PROP. STORM PIPE
-----	EX. EDGE OF PAVEMENT	-----	PROP. EDGE OF PAVEMENT
-----	EX. BUILDING	-----	PROP. BUILDING
-----	EX. CONCRETE	-----	PROP. CONCRETE
-----	EX. PAVEMENT	-----	PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY)
-----	EX. GRAVEL	-----	PROP. GRAVEL
//////////	PAVEMENT REPLACEMENT	-----	PROP. PAVERS
●	EX. POWER POLE	●	PROP. POWER POLE
⊙	EX. SANITARY SEWER MANHOLE	⊙	PROP. SANITARY SEWER MANHOLE
⊙	EX. STORM SEWER MANHOLE	+	SIGN
⊙	CLEANOUT	WM	WATER METER
⊙	EX. LIGHT POLE	⌵	PROP. GATE VALVE
▶	WATER LINE REDUCER	⌵	BLOW-OFF VALVE
⌵	EX. TELEPHONE	☆	BENCHMARK
-----G-----	EX. GAS LINE	-----G-----	PROP. GAS LINE
-----OHU-----	EX. OVERHEAD CABLE	-----OHU-----	PROP. OVERHEAD CABLE
-----X-----	EX. FENCE	-----P-----	PROP. UNDERGRND POWER LINE
-----	EX. TREE LINE	-----X-----	PROP. FENCE
-----	ADJOINING PROPERTY LINE	-----	PROP. TREE LINE
■	EXISTING ROAD MONUMENTS	-----	SITE PROPERTY LINE

ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EW	ENDWALL	RR	RAILROAD
APPROX	APPROXIMATE	EXIST	EXISTING	RYS	REAR YARD SETBACK
ASPH	ASPHALT	FDN	FOUNDATION	SAN	SANITARY
BC	BOTTOM OF CURB	FF	FINISHED FLOOR	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	FG	FINISH GRADE	SD	STORM DRAIN
BLDG	BUILDING	GBE	GRADE BREAK ELEVATION	SECT	SECTION
BLK	BLOCK	GBS	GRADE BREAK STATION	SE	SLOPE EASEMENT
BM	BENCHMARK	HOA	HOMEOWNERS ASSOCIATION	SS	SANITARY SEWER
BVCE	BEGIN VERT. CURVE ELEV.	HPT	HIGH POINT	SSD	STOPPING SIGHT DISTANCE
BVCS	BEGIN VERT. CURVE STA.	HSD	HEADLIGHT SIGHT DISTANCE	SSE	SANITARY SEWER EASEMENT
BW	BOTTOM OF WALL	INTX	INTERSECTION	STA	STATION
CB	CINDER BLOCK	INVT	INVERT	STD	STANDARD
C&G	CURB & GUTTER	IP	IRON PIN	STO	STORAGE
CMP	CORRUGATED METAL PIPE	LT	LEFT	SYS	SIDE YARD SETBACK
CONC	CONCRETE	LVC	LENGTH OF VERTICAL CURVE	TBM	TEMPORARY BENCHMARK
COR	CORNER	MH	MANHOLE	TBR	TO BE REMOVED
DBL	DOUBLE	MIN	MINIMUM	TC	TOP OF CURB
DEFL	DEFLECTION	MBL	MINIMUM BUILDING LINE	TEL	TELEPHONE
DI	DROP INLET	MON	MONUMENT	TRANS	TRANSFORMER
DIA	DIAMETER	NBL	NORTH BOUND LANE	TW	TOP OF WALL
DE	DRAINAGE EASEMENT	PROP	PROPOSED	TYP	TYPICAL
ELEC	ELECTRIC	PUE	PUBLIC UTILITY EASEMENT	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEV	ELEVATION	PVMT	PAVEMENT	VERT	VERTICAL
ENTR	ENTRANCE	R	RADIUS	WBL	WEST BOUND LANE
EP	EDGE OF PAVEMENT	RT	RIGHT	YD	YARD
EVCE	END VERT. CURVE ELEV.	R.O.W.	RIGHT OF WAY		
EVCS	END VERT. CURVE STA.	REQD	REQUIRED		
		RR	RAILROAD		

SITE INFORMATION

SITE ADDRESS:	INTERNATIONAL PARKWAY DALEVILLE, VA 24083
OWNER:	BOTETOURT COUNTY 1 WEST MAIN STREET - BOX 1 FINCASTLE, VA 24080
DEVELOPER:	GREENFIELD DEVELOPMENT, LLC 210 S. JEFFERSON ST. ROANOKE, VA 24011
EXISTING USE:	VACANT
ZONING:	RAM (RESEARCH AND ADVANCED MANUFACTURING)
PARCEL ID:	88-20 AND 88-20G
LOT AREA:	19.435 AC. (T.M. #88-20G) APPROX. 2.9 AC. OF T.M. #88-20 WILL ALSO BE DISTURBED FOR THIS PROJECT
DISTURBED AREA:	APPROX. 17.4 AC. (T.M. #88-20G) APPROX. 2.9 AC. (T.M. #88-20) APPROX. 2.4 AC. (RIGHT-OF-WAY) TOTAL = APPROX. 22.7 AC
MINIMUM LOT AREA:	1.0 AC
MINIMUM LOT WIDTH:	100 FT
PROP. BUILDING AREA:	100,000 S.F.
PROP. USE:	MANUFACTURING/INDUSTRIAL PRODUCTION (ASSUMED FOR PARKING REQUIREMENTS)
MINIMUM YARDS:	
FRONT:	40' WHEN PARKING IS LOCATED BEHIND PRINCIPAL BUILDING, WHEN PARKING SCREENED FROM PUBLIC ROAD VIEW WITH BERMS AND/OR CONIFEROUS LANDSCAPING, OR WHEN PARKING LOT LANDSCAPING IS INCREASED BY AT LEAST FIFTY (50) PERCENT OVER MINIMUM REQUIREMENTS; OTHERWISE BUILDING SETBACK SHALL BE EIGHTY (80) FEET PLUS DISTANCE OF IMPERVIOUS SURFACES.
SIDE:	20'
REAR:	40'

MAXIMUM/PROPOSED FLOOR AREA RATIO: 0.50/APPROX. 0.12

MAXIMUM/PROPOSED IMPERVIOUS AREA: 70%/APPROX. 25%

MAXIMUM/PROPOSED BUILDING HEIGHT: 60'/APPROX. 39'

PARKING REQUIRED: 1.1 SPACES PER EMPLOYEE ON LARGEST SHIFT
18 EMPLOYEES = 20 SPACES

PARKING PROPOSED: 21 SPACES, INCLUDING 1 HANDICAP SPACE

OUTDOOR STORAGE OPERATIONS: ALL TESTING AND MANUFACTURING OPERATIONS MUST TAKE PLACE WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS PERMISSION FOR OUTSIDE OPERATIONS IS SPECIFICALLY GRANTED BY THE BOARD OF SUPERVISORS AS A SPECIAL EXCEPTION USE.

OUTDOOR STORAGE AREAS, AREAS FOR COLLECTION OF REFUSE, AND LOADING AREAS SHALL BE SCREENED FROM ADJACENT STRUCTURES, ROADS, AND TRAFFIC ARTERIES WITH HEDGES, DENSE PLANTING, EARTH BERMS, CHANGES IN GRADE, AND/OR WALL. FENCES SHALL NOT BE ALLOWED FOR SCREENING PURPOSES. WALL MATERIALS SHALL MATCH MATERIALS AND COLORS USED ON THE FRONT EXTERIOR OF THE PRIMARY STRUCTURE.

THIS PROJECT SHALL BE SUBJECT TO THE "BOTETOURT CENTER AT GREENFIELD BUSINESS AND OFFICE PARKS DECLARATION OF PROTECTIVE COVENANTS," AMENDED JANUARY 25, 2011.

TRANSFORMERS OR SIMILAR ABOVE GROUND EQUIPMENT, DUMPSTERS, RECYCLING EQUIPMENT AND CONTAINERS, COMPACTORS, BAILERS AND OTHER WASTE MANAGEMENT EQUIPMENT AND WASTE CONTAINERS SHALL BE LOCATED ON GRADE AT THE REAR OF THE BUILDING WHENEVER POSSIBLE.

THE GRADING AND BUILDING DESIGN SHALL ADHERE TO THE INTENT OF THE PROTECTIVE COVENANTS, INCLUDING BUILDING MATERIALS, ROOF-MOUNTED EQUIPMENT, AND OTHER STRUCTURES.

ENGINEERS NOTES

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

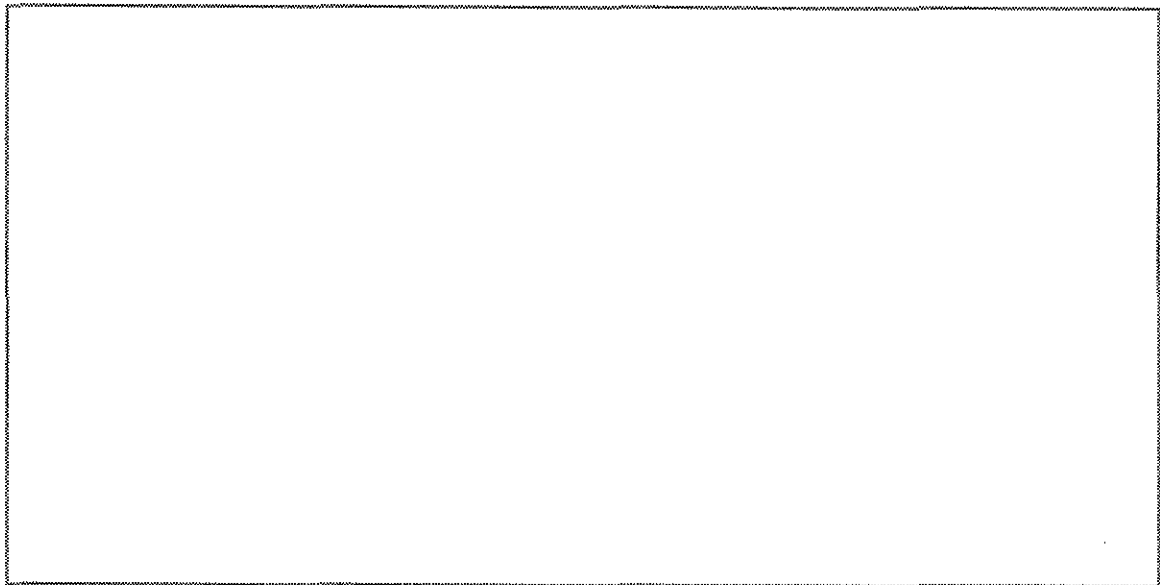
ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

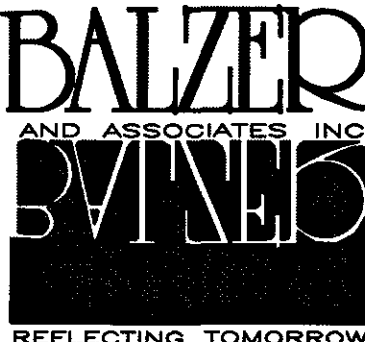
SOURCE OF TOPOGRAPHIC MAPPING IS INFORMATION PROVIDED BY ENGINEERING CONCEPTS, INC.

GENERAL SITE NOTES:

- G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, VDOT, AND BOTETOURT COUNTY. G.C. SHALL OBTAIN A LAND USE PERMIT FROM VDOT PRIOR TO ANY WORK WITHIN THE PUBLIC R.O.W.
- ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- ELEVATIONS SHOWN AT THE BUILDING, PARKING, AND LOADING DOCK AREAS ARE SHOWN AT SUBGRADE ELEVATION FOR FUTURE PAVEMENT AND BUILDING PAD.
- ALL UTILITY LINES, ELECTRIC, TELEPHONE, CABLE LINES, ETC. SHALL BE PLACED UNDERGROUND.
- NO SITE LIGHTING IS BEING PROPOSED AT THIS TIME. A LIGHTING PLAN SHALL BE SUBMITTED TO BOTETOURT COUNTY PRIOR TO THE INSTALLATION OF ANY OUTDOOR LIGHTING.



BOTETOURT COUNTY APPROVAL BLOCK

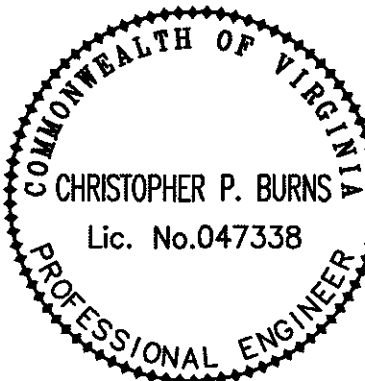


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GREENFIELD SHELL BUILDING
INTERNATIONAL PARKWAY
COVER
BOTETOURT COUNTY, VIRGINIA

DRAWN BY LAR
DESIGNED BY CPB
CHECKED BY CPB
DATE 7/17/2015
SCALE N/A

REVISIONS:
8/7/2015
10/2/2015
12/21/2015
5/10/2016
5/25/2016
8/31/2016

CHARLES CRUSH
As-BUILT
08-22-18

SHEET NO.

C1

JOB NO. R1400042.00