

GREENFIELD SHELL BUILDING

INTERNATIONAL PARKWAY DALEVILLE, VA 24083

SHEET INDEX

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LEGEND

348 EX. INTRMDT. CONTOUR	PROP. INTRMDT. CONTOUR
EX. INDEX CONTOUR	PROP. INDEX CONTOUR
+ 35.55 EX. SPOT ELEVATION	35.55 PROP. SPOT ELEVATION
** WL EX. WATER LINE	
8" SAN EX. SANITARY SEWER	
18*RCP EX. STORM PIPE	PROP. STORM PIPE
EX. EDGE OF PAVEMENT	PROP. EDGE OF PAVEMENT
EX. BUILDING	PROP. BUILDING
🎊 🌣 🌣 🍀 SA CONCRETE	ARAMANA MAR PROP. CONCRETE
State of the second state of Ex. PAVEMENT	PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY)
EX. GRAVEL	PROP. GRAVEL
'///////////// PAVEMENT REPLACEMENT	PROP. PAVERS
EX. POWER POLE	PROP. POWER POLE
EX. SANITARY SEWER MANHOLE	PROP. SANITARY SEWER MANHOLE
EX. STORM SEWER MANHOLE	SIGN
CLEANOUT	WM WATER METER
🖾 EX. LIGHT POLE	PROP. GATE VALVE
water line reducer	BLOW-OFF VALVE
EX. TELEPHONE	☆ BENCHMARK
EX. GAS LINE	PROP. GAS LINE
OHUEX. OVERHEAD CABLE	OHU PROP. OVERHEAD CABLE
EX. FENCE	PROP. UNDERGRND POWER LINE
EX. TREE LINE	PROP. FENCE
ADJOINING PROPERTY LINE	PROP. TREE LINE
EXISTING ROAD MONUMENTS	

ABBREVIATIONS

/\BBI\LVI\\TIONO						
AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EW EXIST	ENDWALL EXISTING	RR RYS	RAILROAD REAR YARD SETBACK	
APPROX	APPROXIMATE	FDN	FOUNDATION	SAN	SANITARY	
		FF	FINISHED FLOOR			
ASPH	ASPHALT		FINISHED FLOOR FINISH GRADE	SBL	SOUTH BOUND LANE	
BC	BOTTOM OF CURB	FG		SD	STORM DRAIN	
BIT	BITUMINOUS	GBE	GRADE BREAK ELEVATION	SECT	SECTION	
BLDG	BUILDING	GBS	GRADE BREAK STATION	SE	SLOPE EASEMENT	
BLK	BLOCK	HOA	HOMEOWNERS ASSOCIATION	SS	SANITARY SEWER	
BM	BENCHMARK	HPT	HIGH POINT	SSD	STOPPING SIGHT DISTANCE	
BVCE	BEGIN VERT. CURVE ELEV.	HSD	HEADLIGHT SIGHT DISTANCE	SSE	SANITARY SEWER EASEMENT	
BVCS	BEGIN VERT. CURVE STA.	INTX	INTERSECTION	STA	STATION	
BW	BOTTOM OF WALL	INV	INVERT	STD	STANDARD	
CB	CINDER BLOCK	IP	IRON PIN	STO	STORAGE	
C&G	CURB & GUTTER	LT	LEFT	SYS	SIDE YARD SETBACK	
CMP	CORRUGATED METAL PIPE	LVC	LENGTH OF VERTICAL CURVE	TBM	TEMPORARY BENCHMARK	
CONC	CONCRETE	MH	MANHOLE	TBR	TO BE REMOVED	
COR	CORNER	MIN	MINIMUM	TC	TOP OF CURB	
DBL	DOUBLE	MBL	MINIMUM BUILDING LINE	TEL	TELEPHONE	
DEFL	DEFLECTION	MON	MONUMENT	TRANS	TRANSFORMER	
DI	DROP INLET	NBL	NORTH BOUND LANE	TW	TOP OF WALL	
DIA	DIAMETER	PROP	PROPOSED	TYP	TYPICAL	
DE	DRAINAGE EASEMENT	PUE	PUBLIC UTILITY EASEMENT	VDOT	VIRGINIA DEPARTMENT OF	
ELEC	ELECTRIC	PVMT	PAVEMENT		TRANSPORTATION	
ELEV	ELEVATION	R	RADIUS	VERT	VERTICAL	
ENTR	ENTRANCE	RT	RIGHT	WBL	WEST BOUND LANE	
EP	EDGE OF PAVEMENT	R.O.W.	RIGHT OF WAY	YD	YARD	
EVCE	END VERT. CURVE ELEV.	REQD	REQUIRED			

END VERT. CURVE STA.

SITE INFORMATION

SITE ADDRESS: INTERNATIONAL PARKWAY DALEVILLE, VA 24083 OWNER: **BOTETOURT COUNTY** 1 WEST MAIN STREET - BOX 1 FINCASTLE, VA 24080 **DEVELOPER:** GREENFIELD DEVELOPMENT, LLC 210 S. JEFFERSON ST. ROANOKE, VA 24011 **EXISTING USE:** VACANT ZONING: RAM (RESEARCH AND ADVANCED MANUFACTURING) PARCEL ID: 88-20 AND 88-20G LOT AREA: 19.435 AC. (T.M. #88-20G) APPROX. 2.9 AC. OF T.M. #88-20 WILL ALSO BE DISTURBED FOR THIS PROJECT DISTURBED AREA: APPROX. 17.4 AC. (T.M. #88-20G) APPROX. 2.9 AC. (T.M. #88-20) APPROX. 2.4 AC. (RIGHT-OF-WAY) TOTAL = APPROX. 22.7 ACMINIMUM LOT AREA: 1.0 AC MINIMUM LOT WIDTH:

PROP. USE: MANUFACTURING/INDUSTRIAL PRODUCTION (ASSUMED FOR PARKING REQUIREMENTS) MINIMUM YARDS:

FRONT: 40' WHEN PARKING IS LOCATED BEHIND PRINCIPAL BUILDING, WHEN PARKING SCREENED FROM PUBLIC ROAD VIEW WITH BERMS AND/OR CONIFEROUS LANDSCAPING, OR WHEN PARKING LOT LANDSCAPING IS INCREASED BY AT LEAST FIFTY (50) PERCENT OVER MINIMUM REQUIREMENTS; OTHERWISE BUILDING SETBACK SHALL BE EIGHTY (80) FEET PLUS DISTANCE OF IMPERVIOUS SURFACES.

REAR: 40'

PROP. BUILDING AREA:

MAXIMUM/PROPOSED FLOOR AREA RATIO: 0.50/APPROX. 0.12

100,000 S.F.

MAXIMUM/PROPOSED IMPERVIOUS AREA: 70%/APPROX. 25%

MAXIMUM/PROPOSED BUILDING HEIGHT: 60'/APPROX. 39'

PARKING REQUIRED: 1.1 SPACES PER EMPLOYEE ON LARGEST SHIFT 18 EMPLOYEES = 20 SPACES

PARKING PROPOSED: 21 SPACES, INCLUDING 1 HANDICAP SPACE

OUTDOOR STORAGE OPERATIONS: ALL TESTING AND MANUFACTURING OPERATIONS MUST TAKE PLACE WITHIN A COMPLETELY ENCLOSED BUILDING, UNLESS PERMISSION FOR OUTSIDE OPERATIONS IS SPECIFICALLY GRANTED BY THE BOARD OF SUPERVISORS AS A SPECIAL EXCEPTION USE.

OUTDOOR STORAGE AREAS, AREAS FOR COLLECTION OF REFUSE. AND LOADING AREAS SHALL BE SCREENED FROM ADJACENT STRUCTURES, ROADS, AND TRAFFIC ARTERIES WITH HEDGES, DENSE PLANTING, EARTH BERMS, CHANGES IN GRADE, AND/OR WALL. FENCES SHALL NOT BE ALLOWED FOR SCREENING PURPOSES. WALL MATERIALS SHALL MATCH MATERIALS AND COLORS USED ON THE FRONT EXTERIOR OF THE PRIMARY STRUCTURE.

THIS PROJECT SHALL BE SUBJECT TO THE "BOTETOURT CENTER AT GREENFIELD BUSINESS AND OFFICE PARKS DECLARATION OF PROTECTIVE COVENANTS," AMENDED JANUARY 25, 2011.

FRANSFORMERS OR SIMILAR ABOVE GROUND EQUIPMENT, DUMPSTERS, RECYCLING EQUIPMENT AND CONTAINERS, COMPACTORS, BAILERS AND OTHER WASTE MANAGEMENT EQUIPMENT AND WASTE CONTAINERS SHALL BE LOCATED ON GRADE AT THE REAR OF THE BUILDING WHENEVER POSSIBLE.

THE GRADING AND BUILDING DESIGN SHALL ADHERE TO THE INTENT OF THE PROTECTIVE COVENANTS, INCLUDING BUILDING MATERIALS, ROOF-MOUNTED EQUIPMENT, AND OTHER STRUCTURES.

ENGINEERS NOTES

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS INFORMATION PROVIDED BY ENGINEERING CONCEPTS, INC.

GENERAL SITE NOTES:

1. G.C. TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.

2. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, VDOT, AND BOTETOURT COUNTY. G.C SHALL OBTAIN A LAND USE PERMIT FROM VDOT PRIOR TO ANY WORK WITHIN THE PUBLIC R.O.W.

3. ANY PAVEMENT TO REMAIN THAT IS DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.

4. ELEVATIONS SHOWN AT THE BUILDING, PARKING, AND LOADING DOCK AREAS ARE SHOWN AT SUBGRADE ELEVATION FOR FUTURE PAVEMENT AND BUILDING PAD.

5. ALL UTILITY LINES. ELECTRIC, TELEPHONE, CABLE LINES, ETC. SHALL BE PLACED UNDERGROUND.

6. NO SITE LIGHTING IS BEING PROPOSED AT THIS TIME, A LIGHTING PLAN SHALL BE SUBMITTED TO BOTETOURT COUNTY PRIOR TO THE INSTALLATION OF ANY OUTDOOR LIGHTING.

BOTETOURT COUNTY APPROVAL BLOCK

REFLECTING TOMORRO www.balzer.cc

New River Valle Richmond Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERIN SITE DEVELOPMENT ENGINEERING LAND USE PLANNING & ZONING LANDSCAPE ARCHITECTURE LAND SURVEYING ARCHITECTURE STRUCTURAL ENGINEERING

TRANSPORTATION ENGINEERING **ENVIRONMENTAL & SOIL SCIENCE** NETLAND DELINEATIONS & STREAM EVALUATION

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DRAWN BY DESIGNED BY CPB CHECKED BY CPB

DATE 7/17/2015 SCALE

REVISIONS: 8/7/2015 10/2/2015 12/21/2015 5/10/2016 5/25/2016

8/31/2016 AS-BUILTS

03-22-18 SHEET NO

GENERAL GRADING NOTES

REFER TO BUILDING PLANS FOR SUBGRADE AND UTILITY TRENCHES WITHIN 5' OF THE BUILDING ENVELOPE.

REMOVE TREES, SHRUBS, GRASS, AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS AS REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION. REMOVE TREES AND OTHER VEGETATION, INCLUDING STUMPS AND ROOTS, COMPLETELY IN AREAS REQUIRED FOR SUBSEQUENT SEEDING. CUT OFF TREES AND STUMPS IN AREAS TO RECEIVE FILL MORE THAN THREE FEET IN DEPTH TO WITHIN EIGHT INCHES OF THE ORIGINAL GROUND SURFACE.

BARRICADE OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK AND OPERATE WARNING LIGHTS AS RECOMMENDED BY AUTHORITIES HAVING JURISDICTION.

EXCAVATION FOR STRUCTURES:

CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN WITHIN A TOLERANCE OF 0.1' PROVIDE TRUE AND STRAIGHT FOOTING EXCAVATIONS WITH UNIFORM AND LEVEL BOTTOMS OF THE WIDTH INDICATED TO ENSURE

PROPER PLACEMENT AND COVER OF ALL REINFORCEMENT. REMOVE ALL LOOSE MATERIALS FROM THE EXCAVATION PRIOR TO PLACEMENT OF CONCRETE.

FOOTINGS WHICH SUPPORT CONCRETE MASONRY UNITS MAY BE STEPPED PROVIDED THE VERTICAL STEP DOES NOT EXCEED ONE HALF OF THE HORIZONTAL DISTANCE BETWEEN STEPS AND HORIZONTAL DISTANCE BETWEEN STEPS IS NOT LESS THAN

e. IF ROCK IS ENCOUNTERED IN A FOOTING EXCAVATION, UNDERCUT IT A MINIMUM EXCAVATION WITH CONTROLLED FILL.

CUT SURFACE UNDER PAVEMENTS TO COMPLY WITH CROSS SECTIONS, ELEVATIONS, AND GRADES AS INDICATED.

EXCAVATE TRENCHES TO UNIFORM WIDTH CONFORMING TO VDOT STANDARD PB-1 FOR STORM DRAINAGE PIPING. PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM FLOWING INTO EXCAVATIONS AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. CONVEY WATER WHEN ATMOSPHERIC TEMPERATURE IS LESS THEN 35°F (1°C).

PROTECT EXCAVATED BOTTOMS OF ALL FOOTINGS AND TRENCHES AGAINST FREEZING WHEN ATMOSPHERIC TEMPERATURE IS LESS THEN 35°F (1°).

BACKFILLING: a. COMPACT THE BACKFILL AROUND THE OUTSIDE OF EACH BUILDING TO A MINIMUM OF 85% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D 698 STANDARD PROCTOR. DO NOT ALLOW HEAVY COMPACTION EQUIPMENT SUCH AS ROLLERS, ETC., CLOSER TO ANY FOOTING THAN THE HORIZONTAL DISTANCE SUBTENDED BY A 45° ANGLE WITH THE TOP EDGE OF THE FOOTINGS AND THE SURFACE OF THE GROUND.

b. BACKFILL BEHIND WALLS AFTER PERMANENT CONSTRUCTION WHICH BRACES THE WALL IS IN PLACE OR TEMPORARY BRACING OF THE WALL IS PROPERLY INSTALLED, AND AFTER ACCEPTANCE OF CONSTRUCTION BELOW FINISH GRADE INCLUDING DAMP-PROOFING, REMOVAL OF CONCRETE FORMWORK, AND REMOVAL OF TRASH AND DEBRIS.

FINISH LAWN AREAS TO WITHIN ONE INCH ABOVE OR BELOW REQUIRED SUBGRADE ELEVATIONS. SHAPE SURFACE UNDER WALKS AND PAVEMENTS TO LINE, GRADE, AND CROSS SECTION, WITH NOT MORE THAN 1/2" ABOVE OR BELOW REQUIRED SUBGRADE ELEVATION.

GRADE SURFACE UNDER BUILDING SLABS SMOOTH AND EVEN, FREE OF VOIDS. PROVIDE FINAL GRADES WITHIN 1/2" OF THOSE INDICATED WHEN TESTED WITH A 10' STRAIGHT EDGE.

PROTECT GRADED AREAS FROM TRAFFIC AND EROSION. REPAIR AREAS WHICH HAVE SETTLED, ERODED, OR BECOME DAMAGED DUE TO CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO OWNER.

PLACE ALL FILL AND BACKFILL AS CONTROLLED FILL AS FOLLOWS: a. ESTABLISH SUITABLE SUBGRADE CONDITIONS PRIOR TO PLACING FILL BY PROOFROLLING, UNDERCUTTING AND COMPACTING AS

NECESSARY. b. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" FOR HAND TAMPERS.

c. PRIOR TO COMPACTION, PROVIDE MOISTURE CONTENT TO WITHIN 3% OF OPTIMUM BY MOISTENING OR AERATING EACH LAYER. DO NOT PLACE FILL MATERIAL ON SURFACES WHICH ARE MUDDY, FROZEN OR CONTAIN FROST OR ICE. d. COMPACT SOIL TO 95% IN ACCORDANCE WITH ASTM D 698 (STANDARD PROCTOR)

SPREAD TOPSOIL TO A DEPTH OF 4" OVER ALL DISTURBED AREAS NOT RECEIVING WALKS, PAVEMENT, WALLS OR BUILDING, INCLUDING TRENCHES. IMMEDIATELY FOLLOWING PLACEMENT OF TOPSOIL, DISK THE ENTIRE TOPSOILED AREA AND RAKE FREE OF STONES AND DEBRIS OVER 1/2" IN ANY DIMENSION. PROVIDE A FINISHED SURFACE FREE OF DEPRESSIONS OR HIGH SPOTS. SEED IMMEDIATELY.

OWNER (CONTRACTOR) SHALL EMPLOY QUALIFIED SOILS TESTING LABORATORY TO INSPECT EARTHWORK OPERATIONS. NOTIFY LABORATORY PRIOR TO PERFORMING EARTHWORK OPERATIONS.