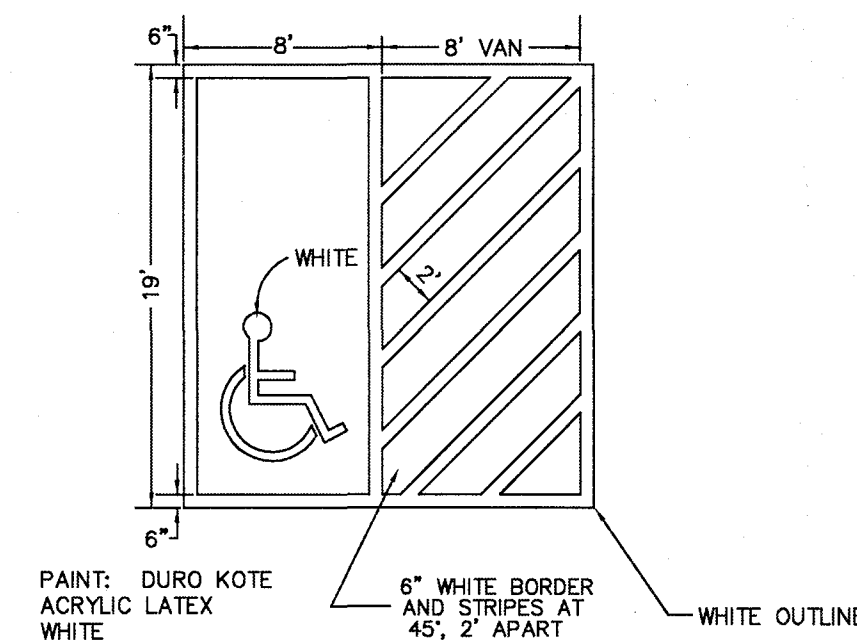
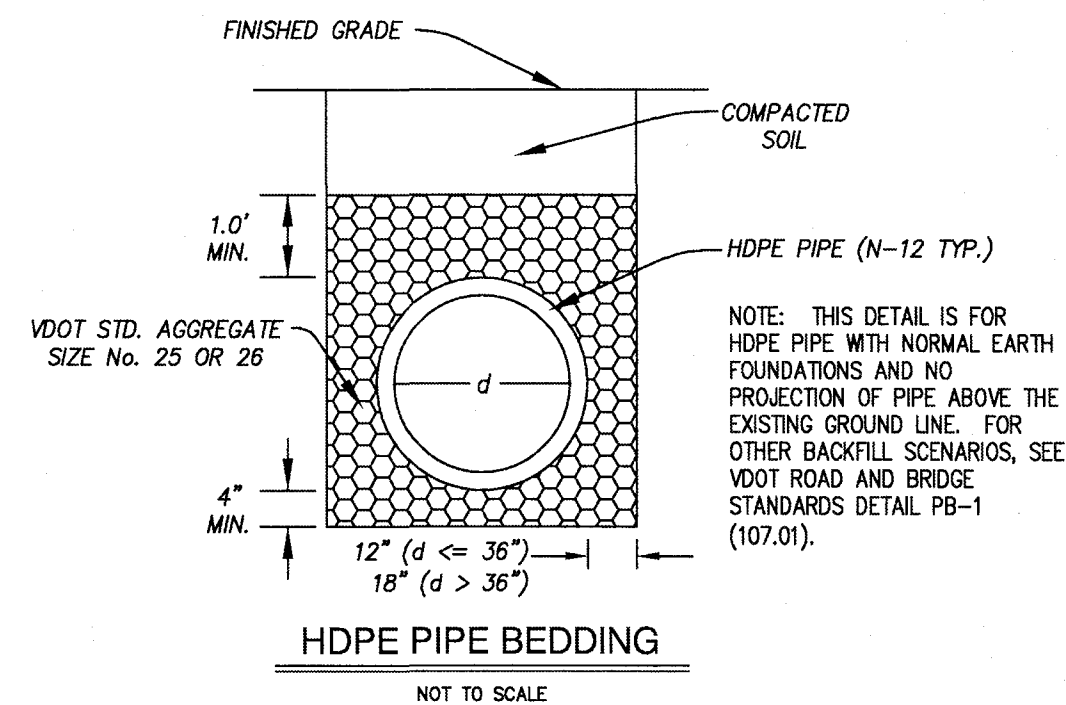


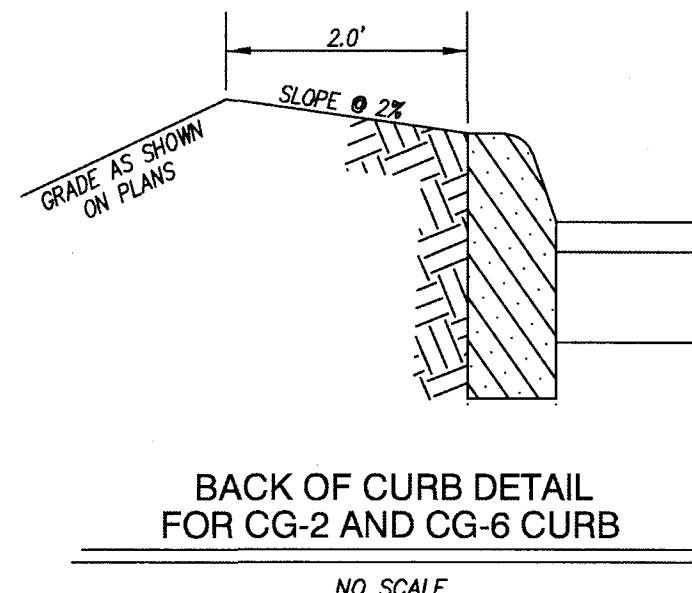
VAN ACCESSIBLE
HANDICAP PARKING SIGN (S1)



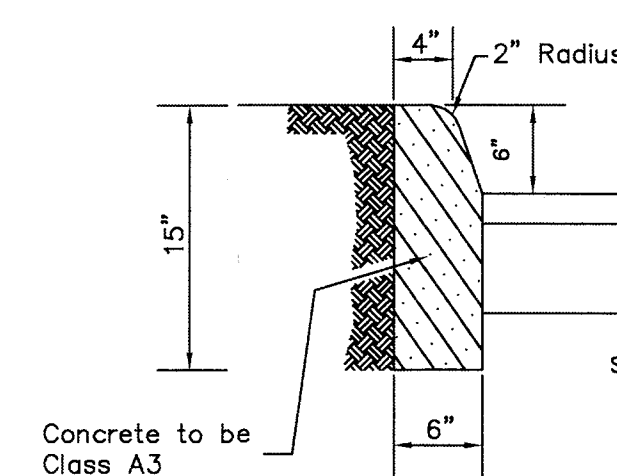
HANDICAP PARKING SPACE



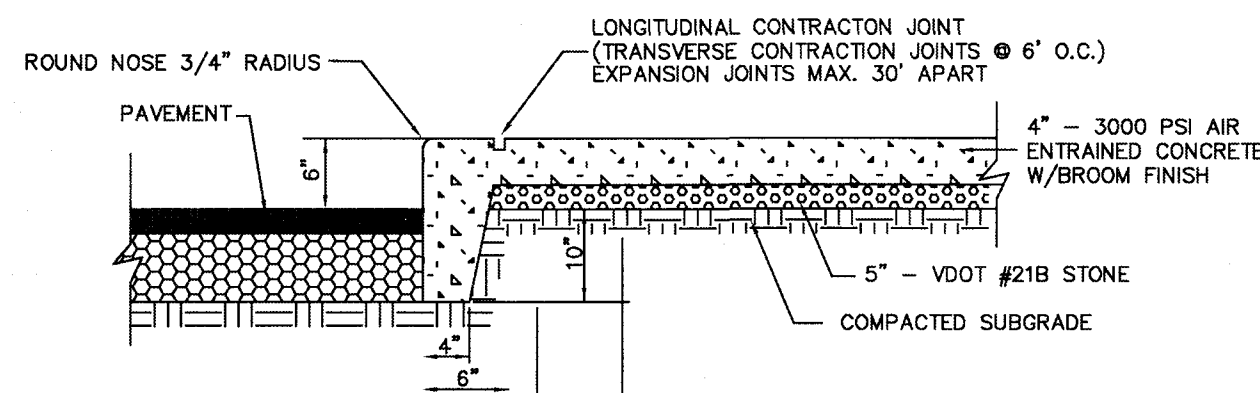
HDPE PIPE BEDDING



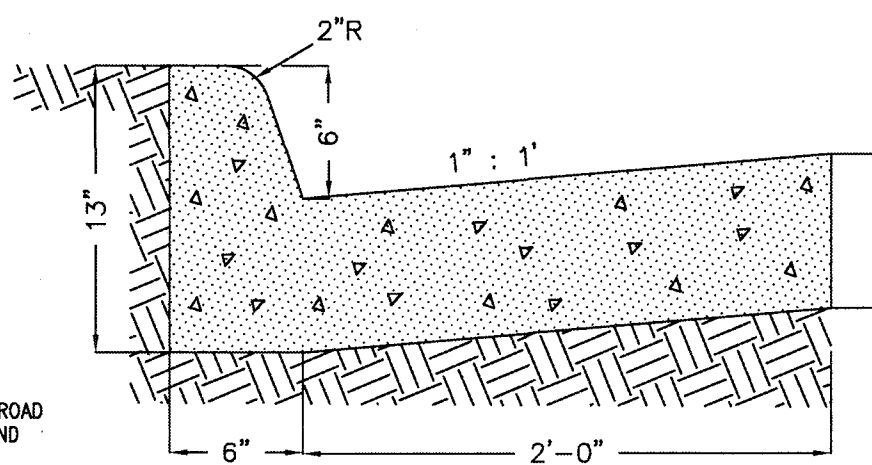
BACK OF CURB DETAIL
FOR CG-2 AND CG-6 CURB



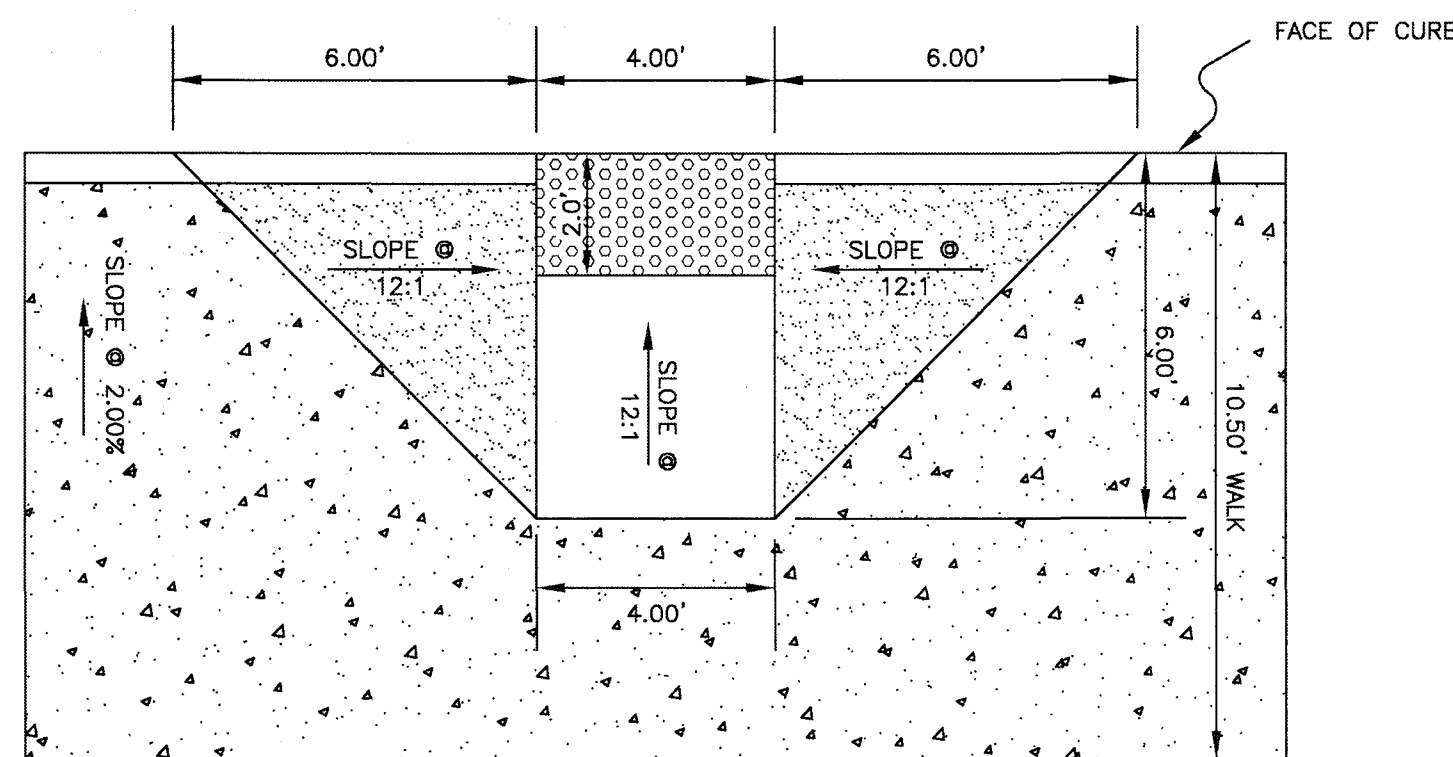
CONCRETE CURB (CG-2)



INTEGRAL CONCRETE CURB AND WALK

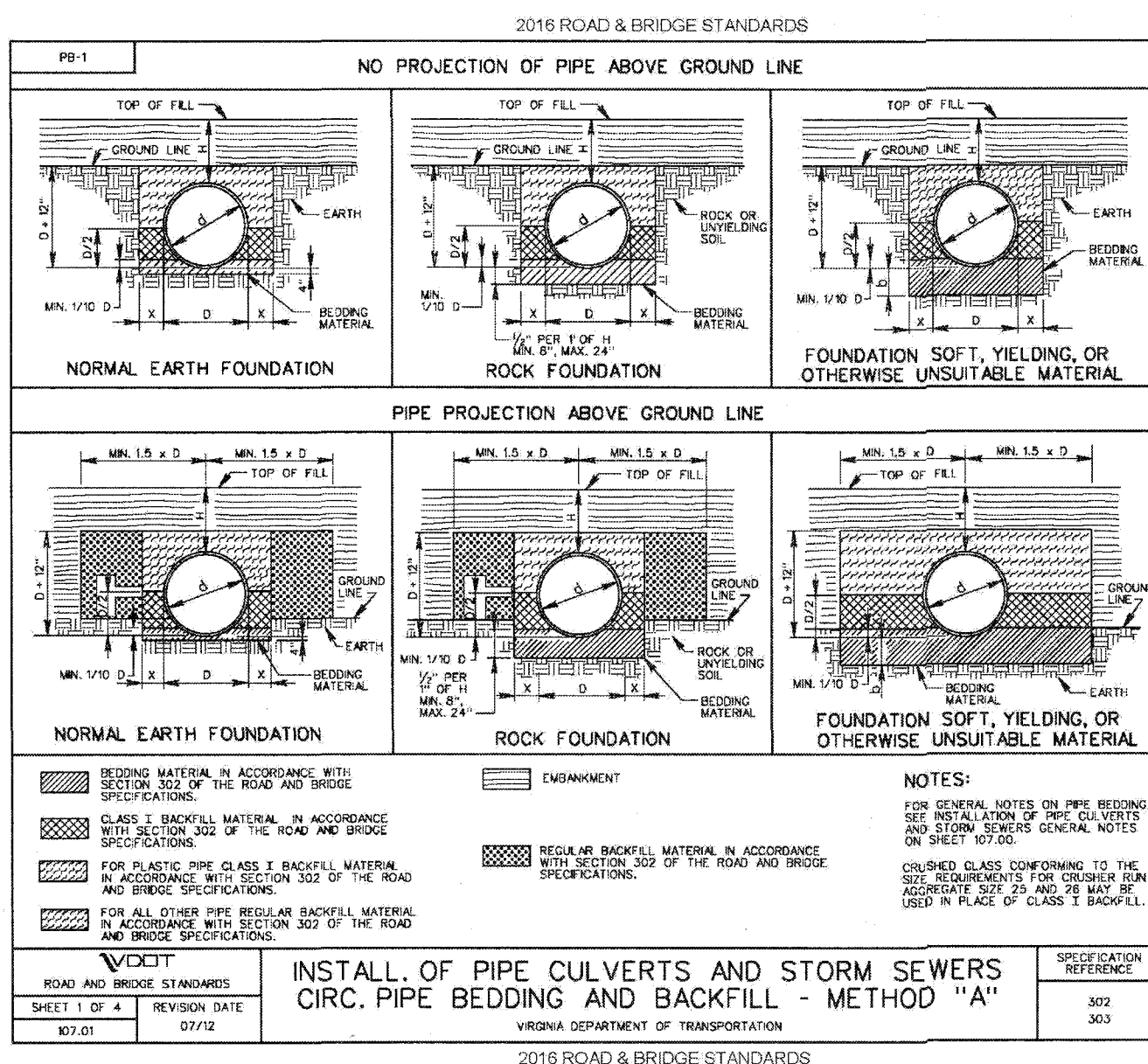


CONCRETE CURB & GUTTER (CG-6)



HANDICAP RAMP INSIDE SIDEWALK (VDOT STD. CG-12)

NOTE: THIS DETAIL IS BASED UPON VDOT CG-12 WITH CERTAIN DIMENSIONS MODIFIED FOR THIS INSTALLATION. SEE VDOT CG-12 STANDARD FOR ADDITIONAL INSTALLATION DETAILS.



Commercial Entrance Designs along Highways with Shoulders

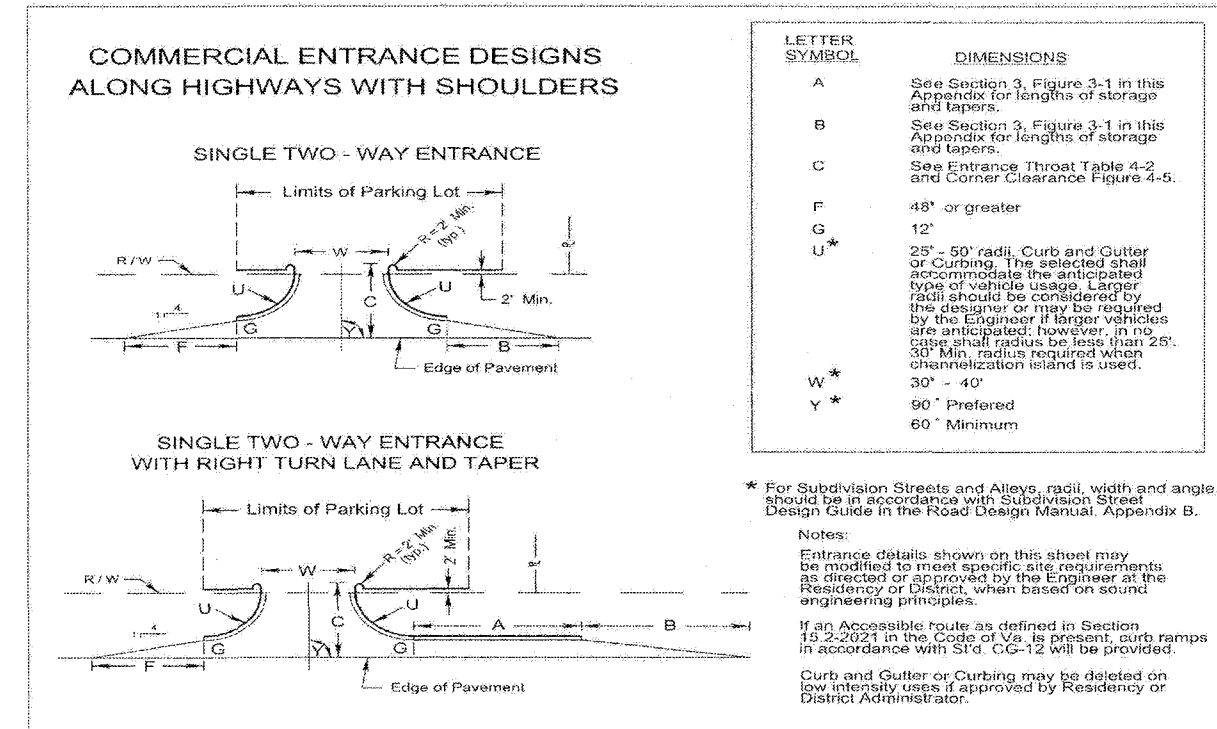
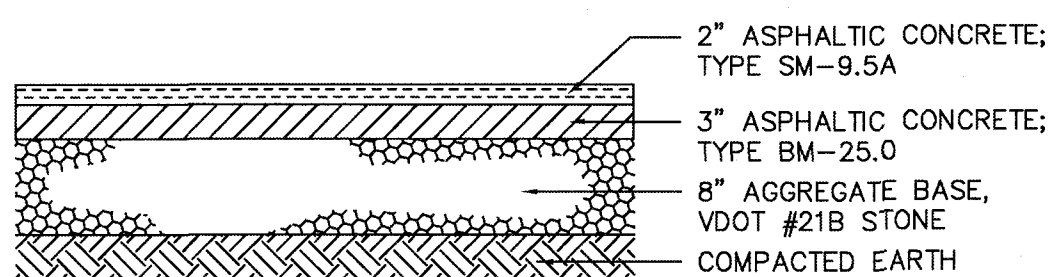
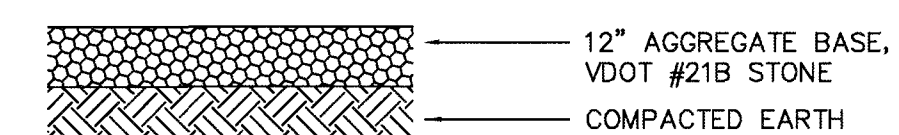


FIGURE 4-9 COMMERCIAL ENTRANCE DESIGNS ALONG HIGHWAYS WITH SHOULDERS
Note: All entrance design and construction shall accommodate pedestrian and bicycle users of the highway in accordance with the Commonwealth Transportation Board's Policy for Integrating Bicycle and Pedestrian Accommodations.

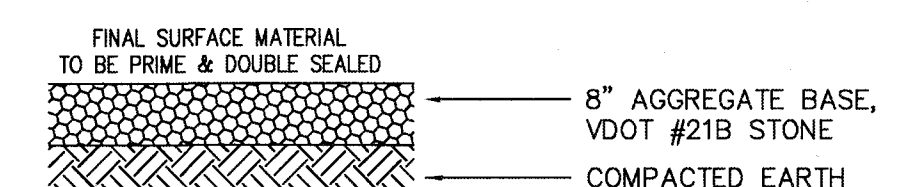
Rev. 1/16



HEAVY DUTY PAVEMENT DETAIL (PARKING LOT)



GRAVEL SURFACE SECTION DETAIL



ACCESS DRIVE
(STA. 13+40 THRU 21+60)

SITE AND ZONING TABULATIONS

CURRENT ZONING: M2
EXISTING USE: VACANT LAND
LAWRENCE TRANSPORTATION SYSTEMS SITE ACREAGE: 12.1 AC.
PROJECT AREA (LIMITS OF DISTURBANCE): 9.3 AC.
PROPOSED USE: HEAVY EQUIPMENT, TRACTOR-TRAILER, AND SPECIALTY VEHICLE SALES, RENTAL, REPAIR AND ACCESSORY SERVICE

MAXIMUM FLOOR AREA RATIO = 50% OF THE LOT AREA = 263,500 SF.
PROPOSED FLOOR AREA RATIO = 2.85% OF THE LOT AREA = 15,000 SF.

YARD REQUIREMENTS FOR MAIN BUILDING:
MINIMUM FRONT: FORTY (40) FEET
MINIMUM REAR: FORTY (40) FEET (SEVENTY-FIVE (75) FEET ADJOINING RESIDENTIAL)
MINIMUM SIDE: TWENTY (20) FEET (SEVENTY-FIVE (75) FEET ADJOINING RESIDENTIAL)

MAXIMUM BUILDING HEIGHT: 45'

MAXIMUM IMPERVIOUS COVERAGE ALLOWED: 70% OF 12.1 AC. LOT AREA = 8.5 AC
IMPERVIOUS COVERAGE PROPOSED:
2.1 AC. IMPERVIOUS LAND COVER = 17.4%

MINIMUM OFF-STREET PARKING REQUIRED:
1.0 SPACE PER EMPLOYEE ON LARGEST SHIFT - TEN (10) EMPLOYEES PROPOSED
1.0 SPACE PER TRUCK PARKED ON PREMISES - TWO (2) SERVICE TRUCKS PROPOSED
1.0 SPACE PER SERVICE BAY - FOUR (4) SERVICE BAYS PROPOSED
TOTAL ON-SITE PARKING SPACES PROVIDED = 16 SPACES (INCLUDES 1 HC SPACE)

GENERAL NOTES

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT BOTETOURT COUNTY TAX PARCEL 107-35 OWNER/DEVELOPER: LARE INC. 872 LEE HIGHWAY ROANOKE, VA 24019
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY BLUE RIDGE SURVEYING & MAPPING, INC. DATED 2018.
- TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY BLUE RIDGE SURVEYING & MAPPING, INC. IN 2018 AND SUPPLEMENTED BY LUMSDEN ASSOCIATES, P.C. IN 2018.
- NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
- THE 9.3 AC. PROJECT AREA (LIMITS OF PROPOSED CONSTRUCTION) WITHIN THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF FLOOD HAZARD AREA. A SMALL PORTION OF THE SUBJECT PROPERTY AT THE SOUTHWEST CORNER IS LOCATED WITHIN THE ZONE "AE" DELINEATION. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP SEE COMMUNITY PANEL #51023C0460 C, DATED DECEMBER 17, 2010. UNSHADED ZONE "X"
- THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY PUBLIC WATER AND PUBLIC SEWER.
- THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY A PUBLIC ROAD.
- A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ANY EXTERIOR SIGNAGE. NO EXTERIOR SIGNAGE IS PROPOSED BY THESE PLANS.
- NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, BOTETOURT COUNTY, AND VDOT.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILTED OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.
- NO LIGHTING IS PROPOSED AT THIS TIME. A LIGHTING PLAN IS REQUIRED TO BE SUBMITTED FOR REVIEW AND APPROVAL BY BOTETOURT COUNTY PLANNING & ZONING OFFICE PRIOR TO THE INSTALLATION OF ANY OUTDOOR LIGHTING.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO CURRENT WYMA, VDOT AND/OR COUNTY OF BOTETOURT STANDARDS AND SPECIFICATIONS.
- ALL CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY WYMA & BOTETOURT COUNTY INSPECTORS. THE CONTRACTOR SHALL NOTIFY THE WYMA & PROPER COUNTY OFFICIALS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS. NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "MISS UTILITY" PRIOR TO THE START OF CONSTRUCTION AND COMPLY WITH VIRGINIA'S UNDERGROUND UTILITY DAMAGE PREVENTION ACT.
- NEW SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH THE WYMA INSPECTOR ON SITE.
- SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
- THE CONTRACTOR AND/OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
- NO DEVIATION TO THE DEVELOPMENT PLANS SHALL BE MADE WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER.
- ANY ALTERATIONS TO THE UTILITY INFRASTRUCTURE, GRADE CHANGES, OR ANY ALIGNMENT CHANGES SHALL REQUIRE A NEW SET OF PLANS SEALED BY THE CONSULTING ENGINEER, AND SHALL REQUIRE APPROVAL BY BOTETOURT COUNTY.

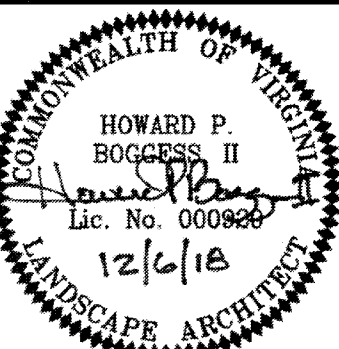
GRADING NOTES

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
- NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

WESTERN VIRGINIA WATER AUTHORITY GENERAL NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE WESTERN VIRGINIA WATER AUTHORITY (WVWA). ALL WATER AND SANITARY SEWER FACILITIES ARE TO BE INSTALLED ACCORDING TO THE WESTERN VIRGINIA WATER AUTHORITY DESIGN AND CONSTRUCTION STANDARDS.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE WESTERN VIRGINIA WATER AUTHORITY IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. CONTACT MARK SINK AT (540) 537-3460.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY AND BOTETOURT COUNTY INSPECTORS.
- FIELD CORRECTIONS SHALL BE APPROVED BY THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" CLEARANCE VERTICALLY AND 2' MINIMUM HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER AND SANITARY SEWER CROSSINGS OF ANY OTHER UTILITIES. WHERE THIS CANNOT BE ACHIEVED, ADDITIONAL MEASURES IN ACCORDANCE WITH WVWA STANDARDS SHALL BE ENFORCED. ANY EXISTING APPURTENANCES SHOULD BE ADJUSTED TO GRADE AND NEW FRAME AND COVERS INSTALLED WHERE REQUIRED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EXISTING UTILITIES LOCATED AND POTHOLED TO VERIFY LOCATIONS. REVIEW OF THIS PLAN DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.
- THE WATER SERVICES FOR THIS DEVELOPMENT WILL REQUIRE A CONCRETE VAULT. PLEASE CONTACT CLEAR FLOW AT (540)-942-3300 TO ORDER THE VAULT. THE APPLICANT IS RESPONSIBLE FOR PAYMENT, DELIVERY AND COORDINATION OF THE VAULT AND INSTALLATION OF THE WATER SERVICE BETWEEN THE AUTHORITY MAIN AND THE VAULT INCLUDING THE TAPPING SLEEVE AND VALVE. CONTRACTOR TO EXCAVATE AND INSTALL TAPPING SLEEVE AND VALVE. THE WET TAP WILL BE MADE BY THE AUTHORITY UPON PAYMENT AND SCHEDULING. CALL UTILITY LINE SERVICES AT 540-853-2513 THREE (3) WORKING DAYS PRIOR TO ANTICIPATED TAP DATE.
- THE OIL/WATER SEPARATOR SHALL BE LOCATED WITHIN THE PROPOSED BUILDING, WILL BE ENCLOSED, AND WILL NOT BE SUBJECTED TO RAINWATER INFLOW. THE SPECIFIC INSTALLATION DETAIL SHALL BE REVIEWED BY THE BUILDING OFFICIAL PRIOR TO ISSUANCE OF THE BUILDING PERMIT. EXTERIOR GRADES SHALL INSURE THAT RUNOFF WILL FLOW AWAY FROM THE BUILDING WHERE THE OIL/WATER SEPARATOR UNIT IS INSTALLED.
- REFERENCE WESTERN VIRGINIA WATER AUTHORITY AVAILABILITY LETTER 18-377.

Lumsden Associates, P.C.
ENGINEERS | SURVEYORS | PLANNERS



NOTES AND
DETAILS

SITE DEVELOPMENT PLAN FOR
LAWRENCE TRANSPORTATION

PREPARED FOR
LARE INC
VALLEY MAGISTERIAL DISTRICT
BOTETOURT COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: December 6, 2018
SCALE: NONE
COMMISSION NO: 18-125
SHEET 2 OF 10