

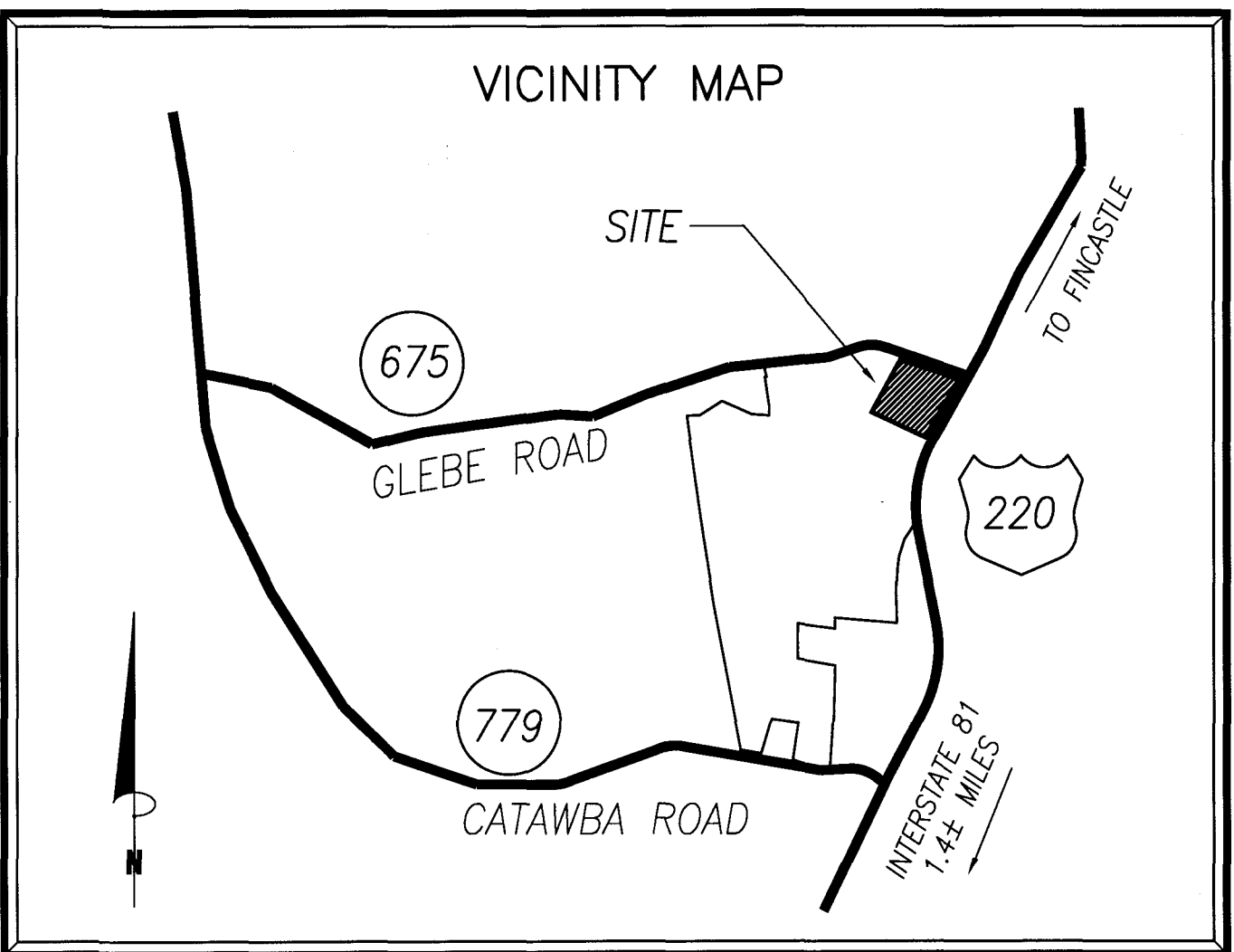
Member One Federal Credit Union

At Daleville Town Center
Botetourt County - Virginia

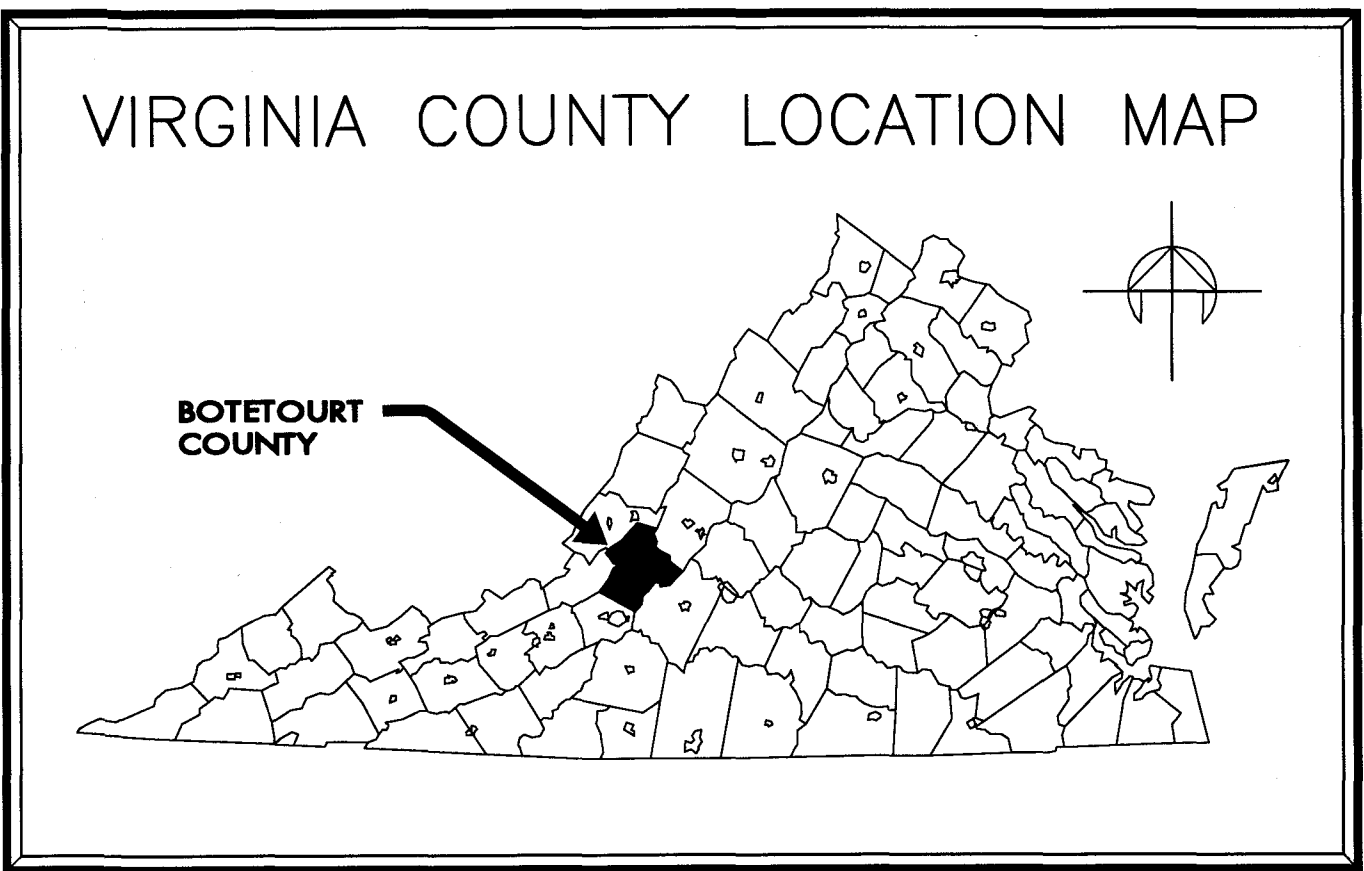
JUNE 15, 2018

ABBREVIATIONS

WSE	WATER SURFACE ELEVATION	SWM	STORM WATER MANAGEMENT
O.D.	OUTSIDE DIAMETER	ELEC	ELECTRIC (UNDERGROUND)
MH	MANHOLE	SS	SANITARY SEWER
XING	CROSSING	ARV	AIR RELEASE VALVE
GPM	GALLONS PER MINUTE	C.I.	CAST IRON
PSI	POUNDS PER SQUARE INCH	WL	WATERLINE
P.I.V.	POST INDICATOR VALVE	E	ELECTRIC (OVERHEAD)
SDR	STANDARD DIMENSION RATIO	C&P	CHESAPEAKE & POTOMAC
MIN	MINIMUM	STM	STEAM
LAT.	LATERAL	WV	WATER VALVE
ST	STORM DRAIN	CPU	UNDERGROUND COMPUTER CABLE
VERT.	VERTICAL	CONC	CONCRETE
HORIZ.	HORIZONTAL	T.C.	TERRA COTTA
BLDG.	BUILDING	SC	UNDERGROUND SATELLITE
SEP.	SEPARATION	INV	INVERT
D.I.	DROP INLET	V.D.O.T.	VIRGINIA DEPARTMENT OF TRANSPORTATION
C.O.	CLEANOUT	TYP.	TYPICAL
MAX.	MAXIMUM	ELEV.	ELEVATION
F.F.	FINISHED FLOOR	@	AT
FIN.	FINISHED	C	CENTERLINE
FOUND.	FOUNDATION	HD	HIGH DENSITY
O	DIAMETER	PVC	POLYVINYL CHLORIDE
CLR.	CLEARANCE	F.H.	FIRE HYDRANT
T.O.F.	TOP OF FOOTING	TELE.	TELEPHONE
O.C.	ON CENTER	CMP	CORRUGATED METAL PIPE
REINF.	REINFORCEMENT	H.P.	HIGH POINT
SSMH	SANITARY SEWER MANHOLE	EXIST/EX	EXISTING
L.P.	LOW POINT	HDPE	HIGH DENSITY POLYETHYLENE
FD	FOUNDATION DRAIN	V.M.I.	VIRGINIA MILITARY INSTITUTE
F	FIRE SERVICE LINE	A.E.	AIR ENTRAINED
D	DOMESTIC SERVICE LINE	TCxx.xx	TOP OF CURB ELEVATION
		Pxx.xx	PAVEMENT ELEVATION



VICINITY MAP
NOT TO SCALE



SITE TABULATION:
CONTRACT OWNER/DEVELOPER: MEMBER ONE FEDERAL CREDIT UNION
PH: (540) 473-1253
ENGINEER: ENGINEERING CONCEPTS, INC.
PH: (540) 473-1253
TAX PARCEL NO'S: 88-33
AREA OF DEVELOPMENT: 1.43 ACRES (62,079.3 SF)
CURRENT ZONING: TND (THIS PROPERTY IS IN THE "WORKPLACE AREA")
CURRENT USE: VACANT
PROPOSED USE: BANK

UTILITIES:
WATER: WESTERN VIRGINIA WATER AUTHORITY
SEWER: WESTERN VIRGINIA WATER AUTHORITY
ELECTRIC: AMERICAN ELECTRIC POWER
GAS: ROANOKE GAS

MINIMUM REQUIREMENTS

MIN. LOT WIDTH FOR COMMERCIAL USES:
COMMERCIAL LOTS: SEVENTY (70) FEET AT THE MINIMUM FRONT SETBACK LINE.
PROPOSED LOT FRONTAGE: 320 FEET

REQUIRED YARDS

- FRONT.**
MINIMUM: NONE. A SIDEWALK OF AT LEAST EIGHT (8) FEET SHALL BE PROVIDED ALONG ALL LOT FRONTAGES IN WHICH THE SETBACK IS LESS THAN FIFTEEN (15) FEET.
MAXIMUM: NONE; HOWEVER, ALL BUILDING SETBACKS SHALL BE DESIGNED SO AS TO ACHIEVE THE PURPOSE AND INTENT OF THE DISTRICT TO CREATE STREETS THAT ARE FRAMED BY BUILDINGS AND THUS COMFORTABLE FOR PEDESTRIANS.
- SIDE.**
MINIMUM: NONE.
MAXIMUM: NONE; HOWEVER, ALL BUILDING SETBACKS SHALL BE DESIGNED SO AS TO ACHIEVE THE PURPOSE AND INTENT OF THE DISTRICT TO CREATE STREETS THAT ARE FRAMED BY BUILDINGS AND THUS COMFORTABLE FOR PEDESTRIANS.
- REAR.**
MINIMUM: THIRTY-FIVE (35) FEET WHEN SERVED BY A REAR ALLEY; NO REAR SETBACK REQUIRED WHEN THE REAR OF THE LOT ALSO FUNCTIONS AS A PRIMARY ACCESS POINT FOR PEDESTRIAN TRAFFIC.
MAXIMUM: NONE; HOWEVER, ALL BUILDING SETBACKS SHALL BE DESIGNED SO AS TO ACHIEVE THE PURPOSE AND INTENT OF THE DISTRICT TO CREATE STREETS THAT ARE FRAMED BY BUILDINGS AND THUS COMFORTABLE FOR PEDESTRIANS.

MINIMUM LOT AREA: 8,500 SF
MAX. FLOOR AREA: 20,000 SF
PROPOSED: 62,079 SF
PROPOSED: 3,127 SF

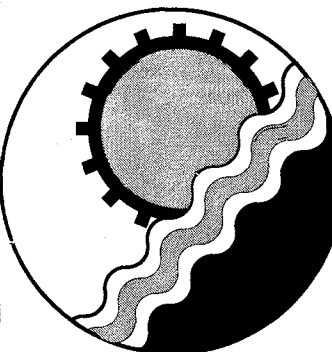
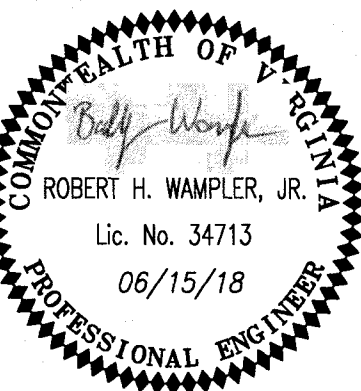
PARKING & LOADING:
SEE SHEET C3 FOR PARKING TABULATION

MAXIMUM HEIGHT OF STRUCTURES: 45 FEET
PROPOSED MAX. HEIGHT: 32 FEET

IMPERVIOUS AREA CALCULATIONS: (MAXIMUM IMPERVIOUS COVERAGE ALLOWED 70%)
PROJECT PARCEL: 1.43 AC. (62,079 SF)
PROPOSED IMPERVIOUS: 0.70 AC. (30,534 SF)
30,534 / 62,079 = 49% (< 70% = ALLOWED)

SHEET INDEX

- C1 COVER SHEET
- C2 GENERAL NOTES
- C3 PARKING PLAN
- C4 SITE DIMENSIONAL & UTILITY PLAN
- C5 GRADING AND EROSION CONTROL PLAN
- C6 DRAINAGE MAPS
- C7 LIGHTING AND PHOTOMETRICS PLAN
- C8 LANDSCAPE PLAN
- C9 STORM DRAIN PROFILES
- C10 SANITARY SEWER PROFILES
- C11 SITE DETAILS
- C12 SITE DETAILS
- C13 UTILITY DETAILS
- C14 E&S NOTES AND DETAILS



ENGINEERING CONCEPTS, INC.

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