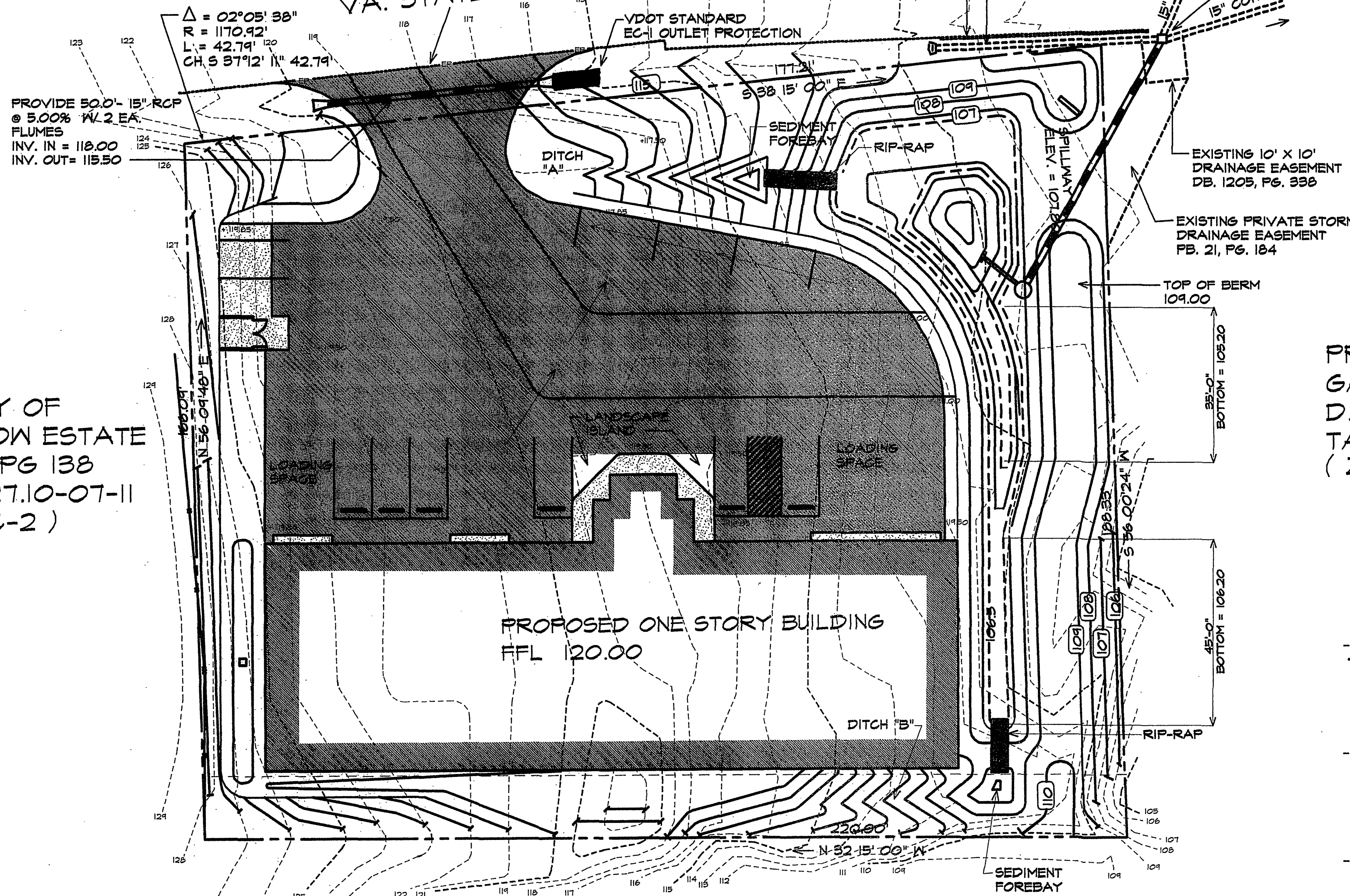


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BENCHMARK:

RAILROAD SPIKE SET IN APCO
POLE # 182-24 ON MCCONNELL ROAD
IN FRONT OF HOUSE # 7435
ELEVATION = 118.74 (ASSUMED)

MCCONNELL ROAD
VA. STATE RTE. 1920



PROPERTY OF
G.L. WHITLOW ESTATE
D.B. 1081, PG 138
TAX NO. 27.10-07-11
(ZONED C-2)

PROPERTY OF
DONALD G. & PHOEBE E. ADAMS
D.B. 1303, PG 1700
TAX NO. 27.10-07-09 (ZONED C-2)

PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

THIS PROPERTY DOES NOT LIE WITHIN THE 100- YEAR FLOOD PLAIN AS SHOWN ON THE FEMA
FLOOD BOUNDARY MAP. THIS IS BASED ON THE FLOOD BOUNDARY MAP AND
HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS.

SITE DATA BASED ON DRAWINGS PREPARED BY TPF'S ENGINEERS, SURVEYORS
AND PLANNERS DATED MARCH 5, 1999.
VERIFY ALL DATA PRIOR TO START OF CONSTRUCTION.

SITE NOTES:

ADDRESS: 7432
X66X MCCONNELL ROAD
TAX MAP NO. 027.10-07-10.01-0000
ZONING: C-2

PROPOSED BUILDING SIZE:
165' X 54' BUILDING 9150 SF

OWNER/ DEVELOPER
BOUDY PROPERTIES, INC.
P.O. BOX 10418
ROANOKE, VA. 24019
CONTACT: BOB MICK
1-540-953-4684
AREA OF SITE: APPROX. .892 ACRES

EXIST. GRATE INLET
TOP = 103.44
INV. IN (15" CMP) = 103.22
INV. OUT (EAST) = 103.22
INV. OUT (SOUTH) = 103.12
NEW INV. IN (15" RCP) = 103.25

GENERAL GRADING AND STORM DRAIN NOTES:

ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK SHOWN AND SHALL BE
VERIFIED BY THE GENERAL CONTRACTOR.

LOCATION OF UNDERGROUND UTILITIES IS BASED ON A FIELD SURVEY AND AVAILABLE RECORDS. THE GENERAL
CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND NOTIFY ALL UTILITY COMPANIES PRIOR TO
BEGINNING ANY ACTUAL CONSTRUCTION.

THE SITEMARK CONTRACTOR SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES
BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK FOR DETAILS
AND SPECIFICATIONS OF THOSE EROSION CONTROL ITEMS SHOWN ON THESE DOCUMENTS.

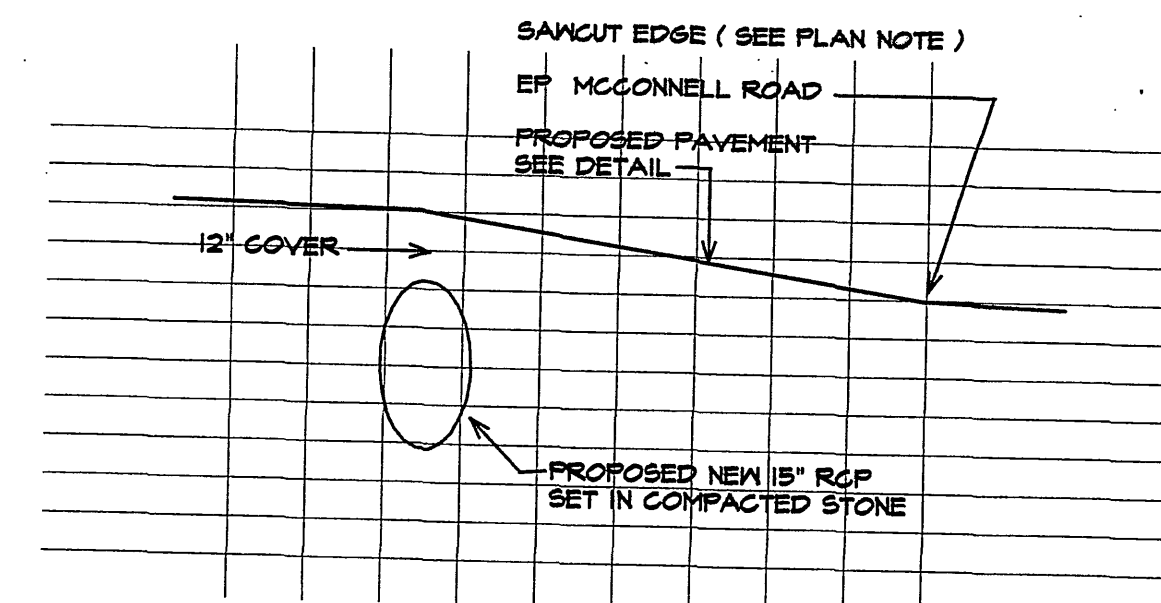
SITE CLEARING AND GRUBBING AS REQUIRED WITHIN THE LIMITS OF CONSTRUCTION. ALL REMOVED DEBRIS SHALL BE
REMOVED FROM SITE PRIOR TO ANY PLACING OF FILL. THE CONTRACTOR SHALL SAW-CUT ALL EXISTING ASPHALT
PAVEMENT TO BE REMOVED AND WHERE NEW ASPHALT TO ADJOIN EXISTING ASPHALT.

CONTRACTOR TO PROVIDE ALL SITE GRADING, GENERAL EXCAVATION, UTILITY TRENCHING AND BACKFILLING AND
FINISH GRADING AS REQUIRED TO ACHIEVE THE WORK INDICATED ON THESE DOCUMENTS. WORK SHALL BE
COMPLETED IN ACCORDANCE WITH VDOT STANDARD AND SPECIFICATIONS. ALL FILL MATERIAL AND BACKFILL
MATERIAL SHALL BE UNIFORMLY COMPACTED TO ACHIEVE AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM
DENSITY

CONTRACTOR SHALL PROVIDE AND INSTALL ALL STORM DRAINAGE PIPES AND STRUCTURES AS INDICATED ON THE
PLANS. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH VDOT STANDARDS AND
SPECIFICATIONS.

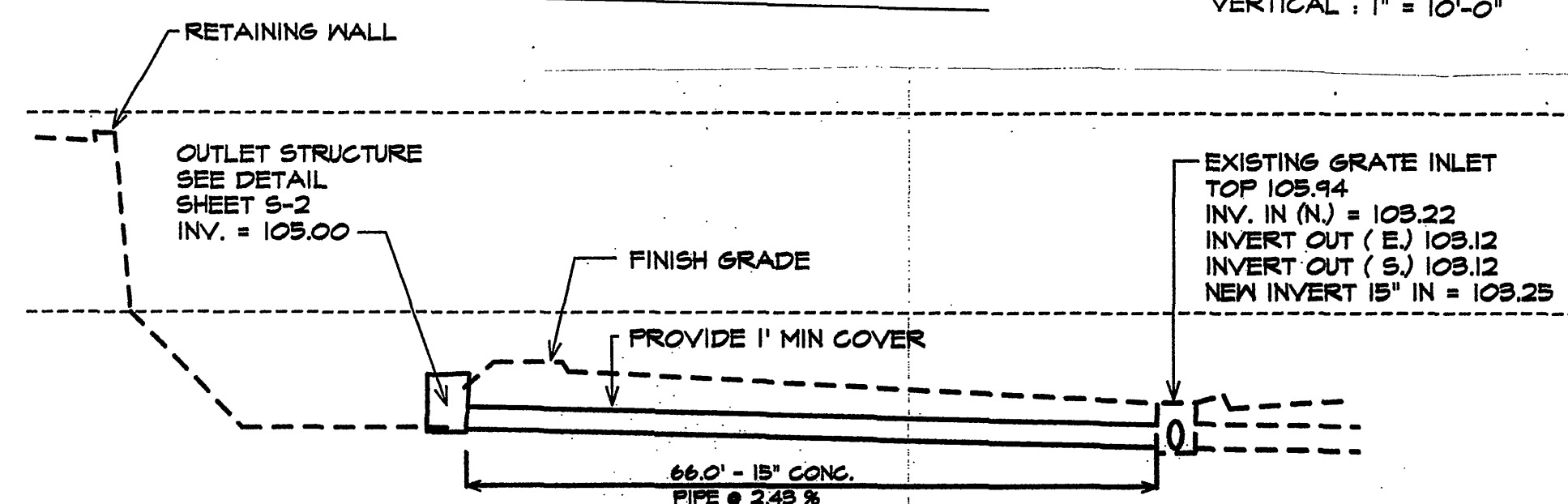
ALL FILL OR BORROW AREAS ASSOCIATED WITH THE PROJECT WILL HAVE TO BE PROVIDED TO THE
COUNTY OF ROANOKE.

PROPERTY OF
GARY JOHNS
D.B. 1785, PG 206
TAX NO. 27.10.07.10
(ZONED C-2)



NEW ENTRY PIPE

SCALE: HORIZONTAL : 1" = 20'-0"
VERTICAL : 1" = 10'-0"



SCALE: HORIZONTAL : 1" = 20'-0"
VERTICAL : 1" = 10'-0"

CONTRACTOR TO VERIFY STRUCTURAL
ADEQUACY OF INLET TO RECEIVE NEW PIPE
AND NOTIFY ARCHITECT IF A PROBLEM
IS ANTICIPATED

STORM DRAIN PROFILE POND OUTLET PIPE

STORM DRAIN NOTES:

PROVIDE 1' MINIMUM COVER OVER ALL NEW STORM DRAINS

STORM DRAIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH VDOT STANDARDS AND SPECIFICATIONS

THIS OUTLET PIPE TO HAVE RUBBER GASKET WATER TIGHT JOINTS AND SEEPAGE CONTROL MEASURES PER
ROANOKE COUNTY ENGINEERING SPECIFICATIONS.

LEGEND

---	EXISTING GRADE
---	PROPOSED FINISHED GRADE
+	SPOT FINISH ELEVATION
PS	PERMANENT SEED
CE	CONSTRUCTION ENTRANCE
SP	SILT FENCE
OR	

SITE DATA

PROPOSED USE: MINOR AUTOMOBILE REPAIR
INDOOR CONSTRUCTION SALES

MAX. BUILDING HEIGHT ALLOWED 28'-4"

PARKING REQ'D
MINOR AUTOMOBILE REPAIR 1/ BAY PLUS 1/ WORKER
2 BAYS, 1 EMPLOYEE 3 SPACES
INDOOR CONSTRUCTION SALES
1 SPACE/ 500 SF 3724 SF/500 8 SPACES

TOTAL REQ'D 11 SPACES
TOTAL PROVIDED 11 SPACES

1 ADA SPACE (SHOWN WITH MARKINGS)

NO MOTORCYCLE OR BICYCLE SPACES REQ'D

LOADING SPACES AS SHOWN

REQUIRED 10' LANDSCAPING AT ROAD/ BETWEEN PARKING
SEE LANDSCAPING PLAN

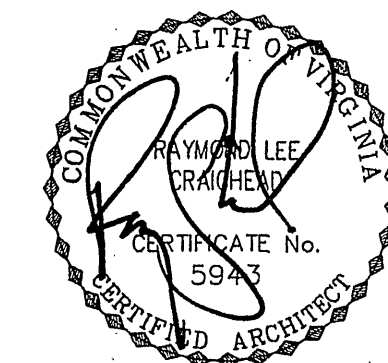
CROWN COVERAGE: 95% SEE LANDSCAPE PLAN

CRAIGHEAD
&
ASSOCIATES

Architects, Designers, Construction Managers

2721 BRAMBLETON AVENUE
SUITE 2
ROANOKE, VIRGINIA 24018
(540) 774-5526
FAX (540) 777-1285

COMMENTS	07/22/09
COMMENTS	08/27/09
COMMENTS	11/21/09
REVISIONS	DATE



PROPOSED NEW BUILDING
FOR
BOUDY PROPERTIES, INC.

ROANOKE VA

PROJECT NO. 22012
DATE: 08/19/02
DRAWN BY: ALB
CHECKED BY: RLC

APPROVED FOR THE OWNER DATE

S-1

SITE LAYOUT

SCALE: 1" = 20'-0"

GRAPHIC: