PROPERTY OWNER: BOXLEY MATERIALS COMPANY PLANS SUBMITTED BY: TIMOTHY D. MAUZY, ENGINEER.

BOXLEY MATERIALS COMPANY P.O. BOX 13527 ROANOKE, VA 24035 (540) 777-7600

CONTRACTOR PERFORMING WORK: JOE BANDY & SON. INC.

RESPONSIBLE LAND DISTURBER (RLD): DAVID WILSON RLD CERTIFICATION NUMBER: 27999 (EXPIRES 2010)

PROPERTY IDENTIFICATION: TAX APPRAISAL NO. : PARCEL 5220608. TOTAL ACREAGE OF PROPERTY: 3.47 ACRES ZONING CLASSIFICATION: I-2, HEAVY INDUSTRIAL SEE SITE PLAN FOR ZONING CLASSIFICATIONS

OF ADJACENT PARCELS. ACREAGE TO BE DEVELOPED (DISTURBED): 3.47 ACRES. LEGAL REFERENCE: NEIGHBORHOOD NO. 940, TRACT C

BLUE RIDGE DRIVE, INSTRUMENT #030007982.

PROPERTY IDENTIFICATION: TAX APPRAISAL NO. : PARCEL 5220607. TOTAL ACREAGE OF PROPERTY: 5.72 ACRES ZONING CLASSIFICATION: I-2, HEAVY INDUSTRIAL SEE SITE PLAN FOR ZONING CLASSIFICATIONS OF ADJACENT PARCELS.

ACREAGE TO BE DEVELOPED (DISTURBED): 0.95 ACRES. LEGAL REFERENCE: NEIGHBORHOOD NO. 940, TRACT B BLUE RIDGE DRIVE, INSTRUMENT #030007982.

IMPERVIOUS RATIO CALCULATION:

2.91 ACRES IMPERVIOUS / 4.33 ACRES TO BE DEVELOPED = 67% 67% < 90% (LIMIT FOR I-2)

PROPOSED USE OF PROPERTY AND BUILDINGS:

WAREHOUSE WITH OUTDOOR STORAGE AND OUTDOOR DISPLAY (WAREHOUSE) - 9,000 SQ. FT. 32 FT. IN HEIGHT.

ACCESSORY TO THE PRIMARY WAREHOUSE USE OF THE PROPERTY: (OFFICE/SHOWROOM) - 3,600 SQ. FT. 18 FT. IN HEIGHT. (OUTSIDE DISPLAY) - 6,042 SQ. FT.

FINISHED FLOOR ELEVATION OF BUILDINGS - 984.2'

PARKING, LOADING AND DRIVEWAY REQUIREMENTS:

1 PER 1,000 SQ. FT. OF NET DISPLAY AREA (7,232 SQ. FT.) 0.5 PER 1,000 SQ. FT. OF NET WAREHOUSE AREA (6,750 SQ. FT.) = 41 PER 2 EMPLOYEES (12 EMPLOYEES MAX.)

PARKING SPACES REQUIRED: 18 PROVIDED : 20 HANDICAPPED RQUIRED : PROVIDED: 1

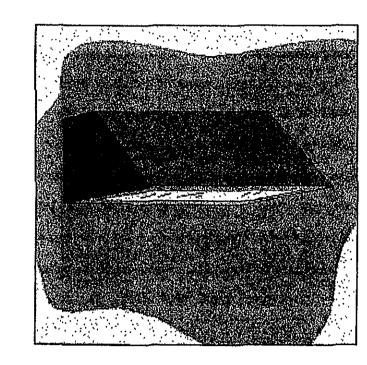
* NET FLOOR AREAS ARE 75 % OF CROSS SO. FT.

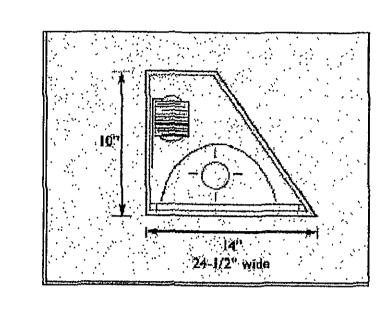
ALL UTILITY SERVICE LATERALS LICLUDING ELECTRIC WILL BE INSTALLED UNDERGROUND.

FLOOD STATEMENT:

A PORTION OF THE PROPERTY DOES LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. FINISHED FLOOR ELEVATIONS OF OF THE OFFICE / WAREHOUSE WILL BE AT ELEVATION 984.2', (3.2') ABOVE THE 100 YEAR FLOOD ELEVATION OF 981'. AS DESIGNATED BY CURRENT FEMA MAP # 51161C0043 D. CERTIFICATION WILL BE PROVIDED AT COMPLETION OF FINISHED FLOOR AND PRIOR TO OCCUPANCY.

LIGHTING DETAIL: (7) SCONCE LIGHTS AS SHOWN ON SITE PLAN





REMARKS

B&B

DETAIL

MOUNTING HEIGHT ON WAREHOUSE - 20' MOUNTING HEIGHT ON OFFICE

SPACING

As Shown

As Shown

As Shown

MIN. SIZE

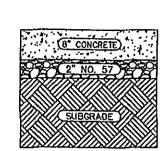
2" Caliper

2' Caliper

5' Ht @ Planting

EXPANSION JOINT -MDTH OF ENTRANCE - 1/2" PREMOLDED STANDARD CURB & GUTTER EXPANSION JOINT FILLER HALF PLAN

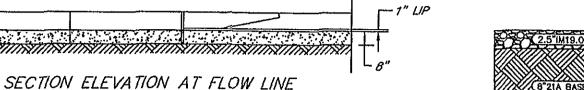
1/2" PREMOLDED



ENTRANCE

ENTRANCE CONCRETE SECTION A-3 VDOT MIX (3000 PSI) JOINTING ON 20' SQ., 2 IN DEEP MAY BE ALTERED DEPENDING ON SOIL TEST RESULTS

TO BE PERFORMED PRIOR TO CONSTRUCTION





LOADOUT/STORAGE AREA



SECTION A-A SECTION B--B ROANOKE CITY COMMERCIAL

ENTRANCE STANDARD (CONCRETE)



PARKING AREA SECTION

Standard commercial "Entrance shall have a minimum curb radius (R) of 7 1/2 feet (45' Provided). 1A. Minimum Entrance width to be 12 feet (30' Provided) Whenever "Entrances" exceeds twenty-four (24) feet in width a 1/2" premoided expansion joint filler shall

be installed through the center perpendicular to flow line. Finish "Entrances" shall have a "course broom finish" running parallel to flow line.

Curing shall be accomplished by the use of a liquid membrane seal containing white pigment applied at the rate of one (1) gallon per 150 square feet.

5. All "Entrance Ways" shall be constructed according to City of Roanoke specifications and to line and grades established by the City Engineering Department.

PERMANENT SEEDING MIXTURE

15 OCTOBER TO 1 FEBRUARY K-31 FESCUE @ 5 LB / 1000 SF

BORZY WINTER RYE @ 1/2 LB / 1000 SF 1 FEBRUARY TO 1 1 JUNE K-31 FESCUE @ 5 LB / 1000 SF

ANNUAL RYE @ 1/2 LB / 1000 SF 1 JUNE TO 1 SEPTEMBER K-31 FESCUE @ 5 LB / 1000 SF

GERMAN MILLET @ 1/2 LB / 1000 SF

1 SEPTEMBER TO 15 OCTOBER K-31 FESCUE @ 5 LB / 1000 SF ANNUAL RYE @ 1/2 LB / 1000 SF

TYPE A

140 LB 1000 SF PULVERIZED AGRICULTURAL LIMESTONE

FERTILIZER: 5-20-10 @ 25 LB / 1000 SF 38-0-0 @ 7 LB / 1000 SF

MULCH: IF REQUIRED, SHALL BE USED OVER ALL SEEDED AREAS AND SHALL BE APPLIED IN ACCORDANCE WITH SECTION 1.75 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK. LATEST EDITION.

SOIL CONDITIONING:

INCORPORATION OF LIME AND FERTILIZER, SELECTION OF CERTIFIED SEED. MULCHING. MAINTENANCE OF NEW SEEDLINGS, AND RESEEDING SHALL BE IN ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. LATEST EDITION. ADDITIONAL SEEDING TO BE PERFORMED AS REQUIRED BY THE INSPECTOR.

SEED APPLICATION: APPLY SEED UNIFORMILY WITH A CYCLONE SEEDER, DRILL CULTIPACKER SEEDER, OR HYDROSEEDER ON A FIRM, FRIABLE, SEEDBED. MAXIMUM SEEDING DEPTH SHALL BE 1/4 INCH.

ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMNAT CONTROL PRACTRICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION AND VIRGINIA REGULATIONS VR 625-02-00 EROSION SEDIMENT CONTROL REGULATIONS.

- ES-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE ONSITE PRECONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
- ES-3: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP TO LAND DISTURBING.
- ES-4: A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND NARRATIVE, AS WELL AS A COPY OF THE LAND DISTURBING PERMIT, SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- ES-5: PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN FOR THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
- ES-6: THE CONTARCTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
- ES-7: ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING THE LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
- ES-8: THE CONTRACTOR SHALL INSPECT ALL EROSION COMTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

LDT-Qp 16

LET-Ps

1. Required tree canopy is 10% of total site area of 3.48 Acres = 151,588 S.F. =15,158 S.F. 16 Pin Oaks @ 254 S.F. plus 66 White Pine @ 177 S.F. plus 3 Red Maple @ 314 =16,688 S.F. total shown.

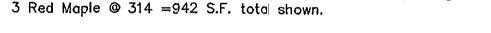
PLANT SCHEDULE

COMMON NAME

RED MAPLE

EASTERN WHITE PINE

2. Required interior parking tree canopy is 20% of total parking area of 3,402 S.F. = 680 S.F.

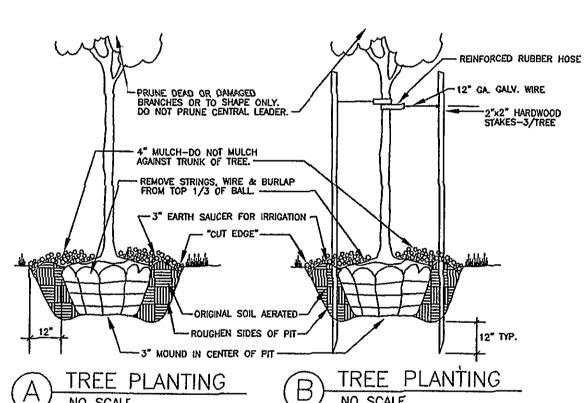


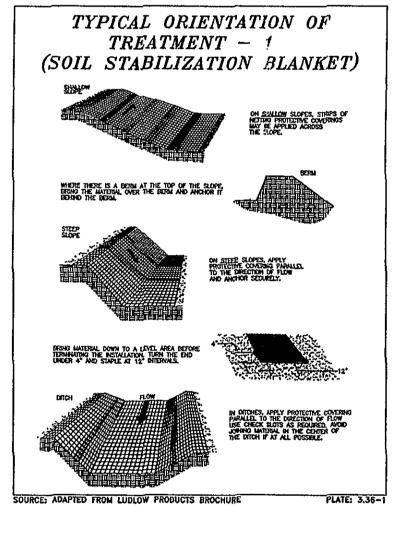
QUAN SCIENTIFIC NAME

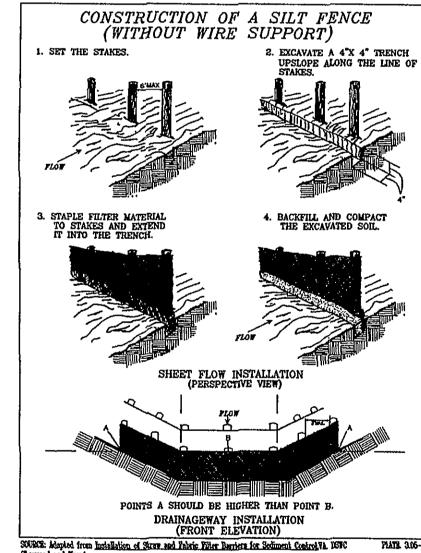
Quercus palustris

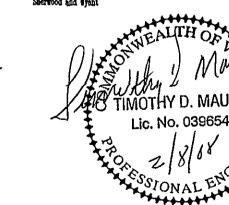
Pinus strobus

Acer rubrum



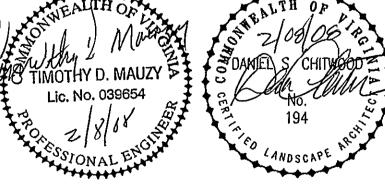






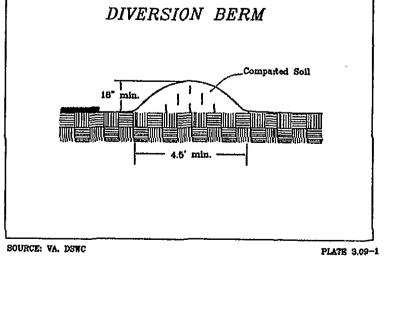
JOB NO.

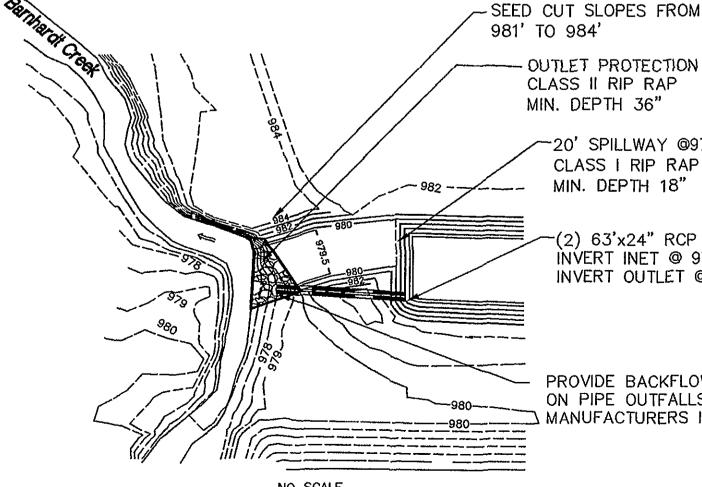




BOXLEY MATERIALS COMPANY DOANORE VIDCINIA

:R	RUANUKE, VIRGINIA	
	DESIGN TDM	PLANT BLUE RIDGE DRIVE, SW
	DATE 2/2/08	JOB DESCRIPTION
	SCALE N.T.S.	COMPREHENSIVE SITE PLAN DETAILS





981' TO 984' - OUTLET PROTECTION (OP) in CLASS II RIP RAP MIN. DEPTH 36"

PROVIDE BACKFLOW PREVENTER ON PIPE OUTFALLS. INSTALL PER MANUFACTURERS INSTRUCTIONS

-20' SPILLWAY @979.8

(2) 63'x24" RCP OUT

INVERT INET @ 978.1

INVERT OUTLET @ 978.0

MIN. DEPTH 18"

CLASS I RIP RAP TO 981'

NO SCALE