

PROPERTY OWNER: BOXLEY MATERIALS COMPANY
PLANS SUBMITTED BY : TIMOTHY D. MAUZY, ENGINEER.
BOXLEY MATERIALS COMPANY
P.O. BOX 13527
ROANOKE, VA 24035
(540) 777-7600

CONTRACTOR PERFORMING WORK: JOE BANDY & SON, INC.
RESPONSIBLE LAND DISTURBER (RLD): DAVID WILSON
RLD CERTIFICATION NUMBER: 27999 (EXPIRES 2010)

PROPERTY IDENTIFICATION:
TAX APPRAISAL NO. : PARCEL 5220608.
TOTAL ACREAGE OF PROPERTY: 3.47 ACRES
ZONING CLASSIFICATION : I-2, HEAVY INDUSTRIAL
SEE SITE PLAN FOR ZONING CLASSIFICATIONS
OF ADJACENT PARCELS.
ACREAGE TO BE DEVELOPED (DISTURBED): 3.47 ACRES.
LEGAL REFERENCE : NEIGHBORHOOD NO. 940, TRACT C
BLUE RIDGE DRIVE, INSTRUMENT #030007982.

PROPERTY IDENTIFICATION:
TAX APPRAISAL NO. : PARCEL 5220607.
TOTAL ACREAGE OF PROPERTY: 5.72 ACRES
ZONING CLASSIFICATION : I-2, HEAVY INDUSTRIAL
SEE SITE PLAN FOR ZONING CLASSIFICATIONS
OF ADJACENT PARCELS.
ACREAGE TO BE DEVELOPED (DISTURBED): 0.95 ACRES.
LEGAL REFERENCE : NEIGHBORHOOD NO. 940, TRACT B
BLUE RIDGE DRIVE, INSTRUMENT #030007982.

IMPERVIOUS RATIO CALCULATION:
2.91 ACRES IMPERVIOUS / 4.33 ACRES TO BE DEVELOPED = 67%
67% < 90% (LIMIT FOR I-2)

PS PERMANENT SEEDING MIXTURE
TYPE A
15 OCTOBER TO 1 FEBRUARY LIME: 140 LB 1000 SF PULVERIZED AGRICULTURAL LIMESTONE
K-31 FESCUE @ 5 LB / 1000 SF
BORZY WINTER RYE @ 1/2 LB / 1000 SF
1 FEBRUARY TO 1 JUNE
K-31 FESCUE @ 5 LB / 1000 SF
ANNUAL RYE @ 1/2 LB / 1000 SF
1 JUNE TO 1 SEPTEMBER
K-31 FESCUE @ 5 LB / 1000 SF
GERMAN MILLET @ 1/2 LB / 1000 SF
1 SEPTEMBER TO 15 OCTOBER
K-31 FESCUE @ 5 LB / 1000 SF
ANNUAL RYE @ 1/2 LB / 1000 SF

ES-1: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION AND VIRGINIA REGULATIONS VR 625-02-00 EROSION SEDIMENT CONTROL REGULATIONS.
ES-2: THE PLAN APPROVING AUTHORITY MUST BE NOTIFIED ONE WEEK PRIOR TO THE ONSITE PRECONSTRUCTION CONFERENCE, ONE WEEK PRIOR TO THE COMMENCEMENT OF LAND DISTURBING ACTIVITY, AND ONE WEEK PRIOR TO THE FINAL INSPECTION.
ES-3: ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP TO LAND DISTURBING.
ES-4: A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND NARRATIVE, AS WELL AS A COPY OF THE LAND DISTURBING PERMIT, SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
ES-5: PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFF-SITE BORROW OR WASTE AREAS), THE CONTRACTOR SHALL SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN FOR THE OWNER FOR REVIEW AND APPROVAL BY THE PLAN APPROVING AUTHORITY.
ES-6: THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
ES-7: ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING THE LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
ES-8: THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

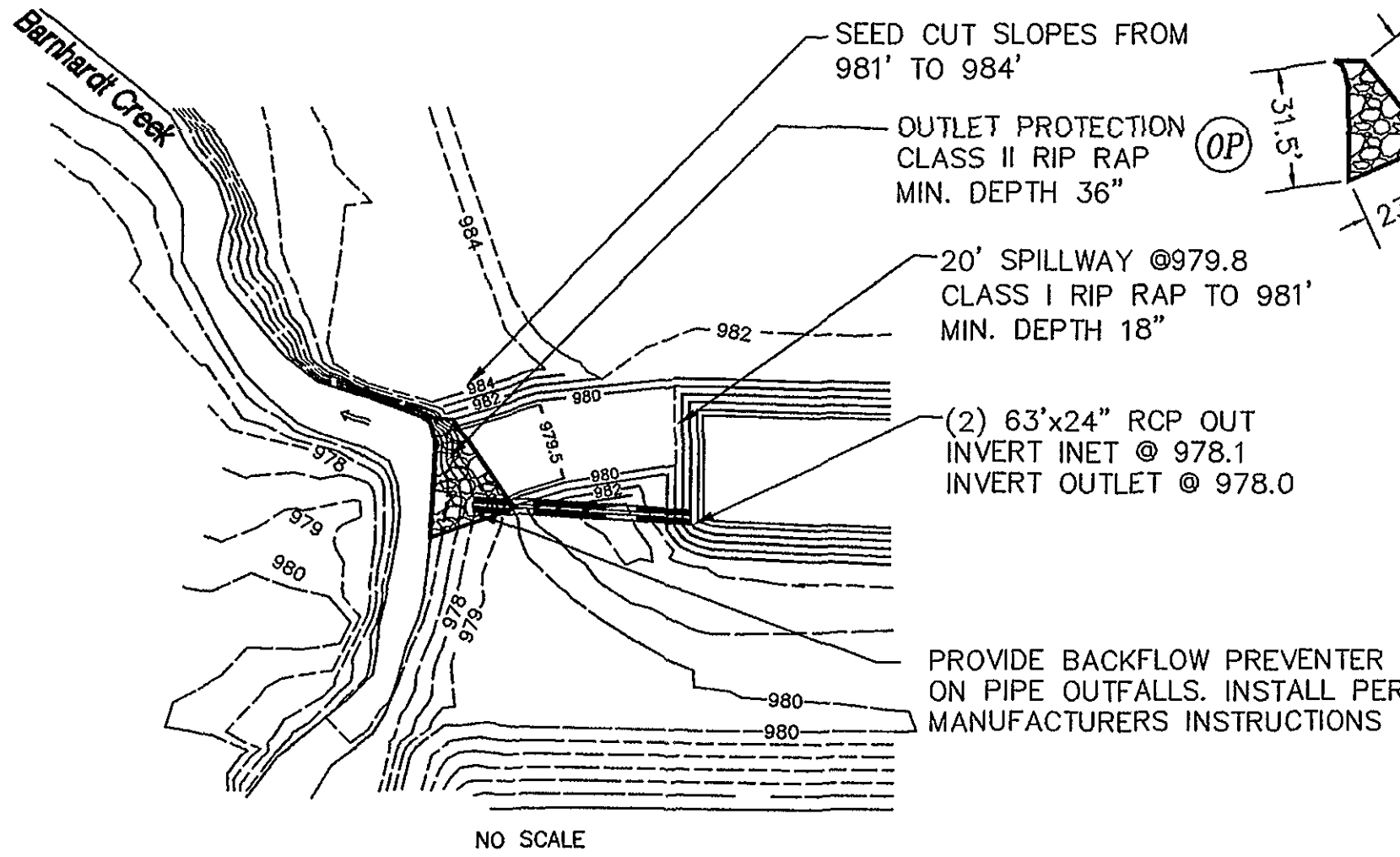
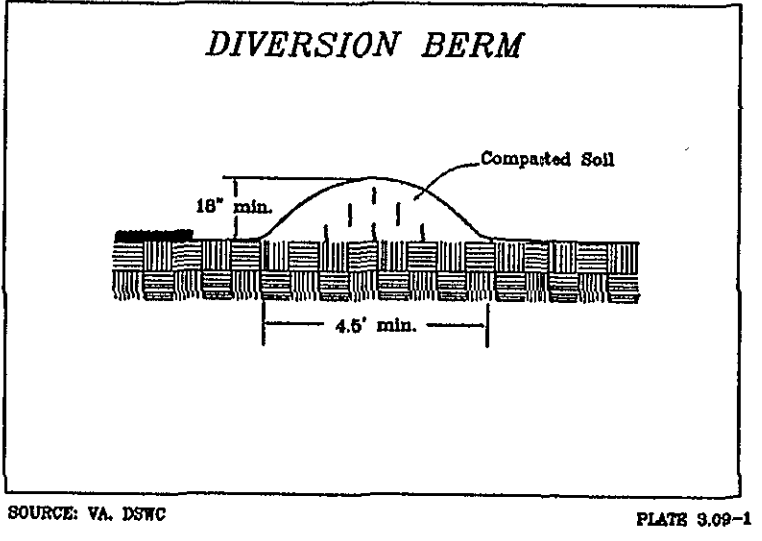
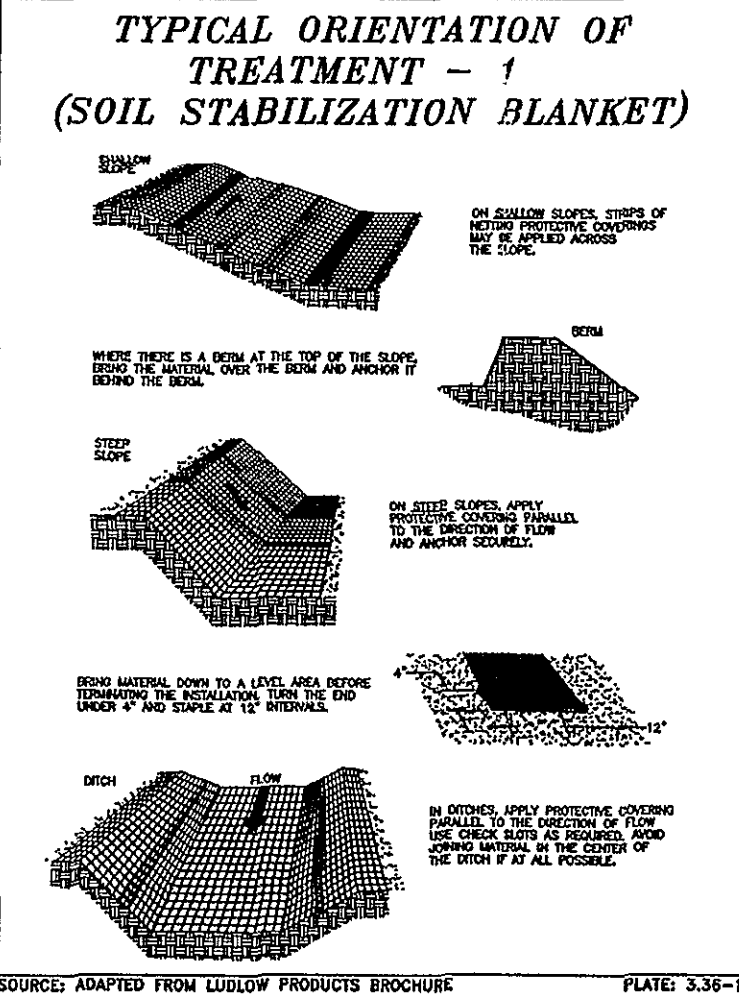
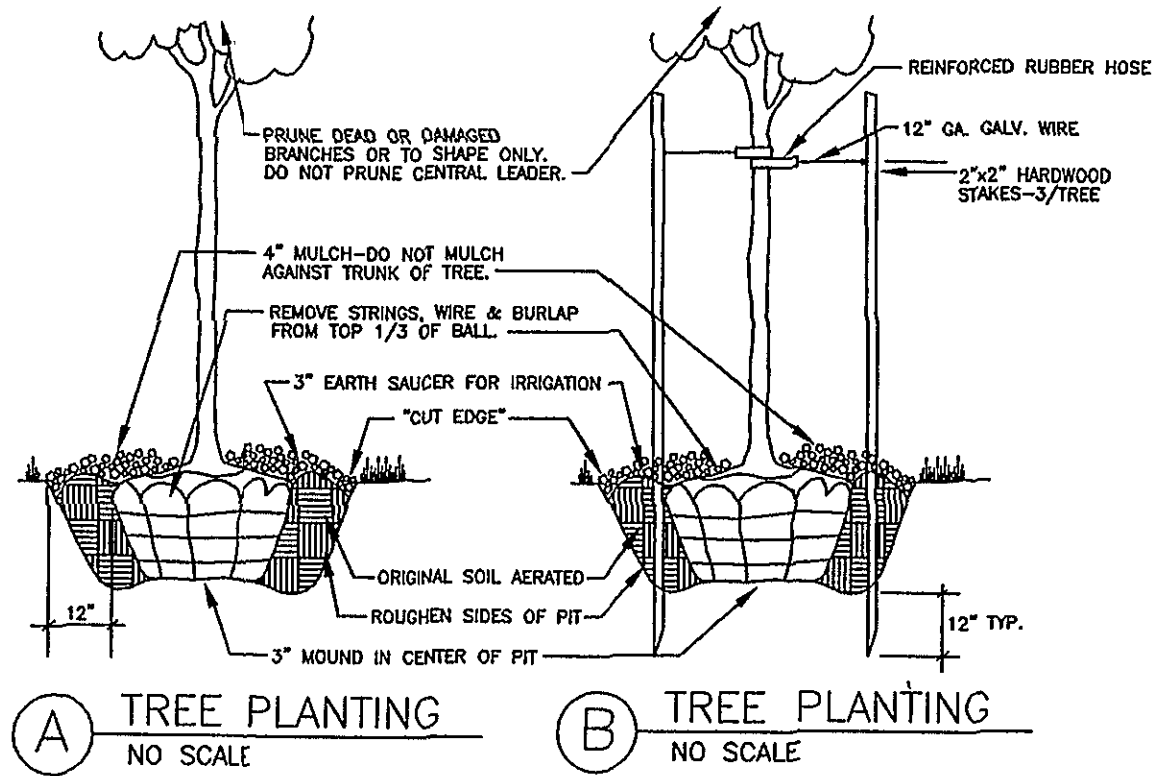
PROPOSED USE OF PROPERTY AND BUILDINGS:
WAREHOUSE WITH OUTDOOR STORAGE AND OUTDOOR DISPLAY (WAREHOUSE) - 9,000 SQ. FT. 32 FT. IN HEIGHT.
ACCESSORY TO THE PRIMARY WAREHOUSE USE OF THE PROPERTY:
(OFFICE/SHOWROOM) - 3,600 SQ. FT. 18 FT. IN HEIGHT.
(OUTSIDE DISPLAY) - 6,042 SQ. FT.

FINISHED FLOOR ELEVATION OF BUILDINGS - 984.2'
PARKING, LOADING AND DRIVEWAY REQUIREMENTS:
1 PER 1,000 SQ. FT. OF NET DISPLAY AREA (7,232 SQ. FT.) = 8
0.5 PER 1,000 SQ. FT. OF NET WAREHOUSE AREA (6,750 SQ. FT.) = 4
1 PER 2 EMPLOYEES (12 EMPLOYEES MAX.) = 6
PARKING SPACES REQUIRED : 18 PROVIDED : 20
HANDICAPPED REQUIRED : 1 PROVIDED : 1
* NET FLOOR AREAS ARE 75 % OF GROSS SQ. FT.
ALL UTILITY SERVICE LATERALS INCLUDING ELECTRIC WILL BE INSTALLED UNDERGROUND.

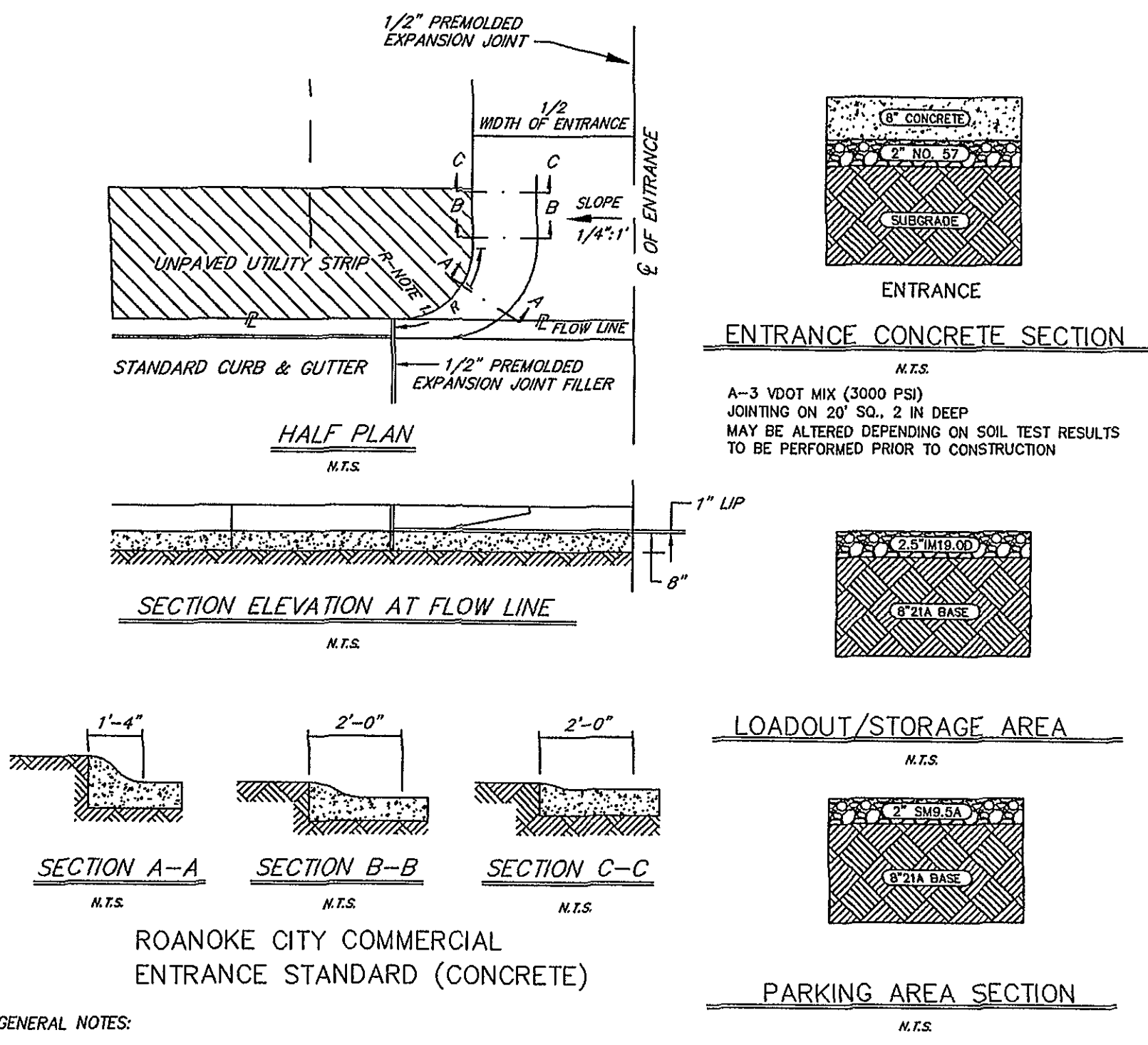
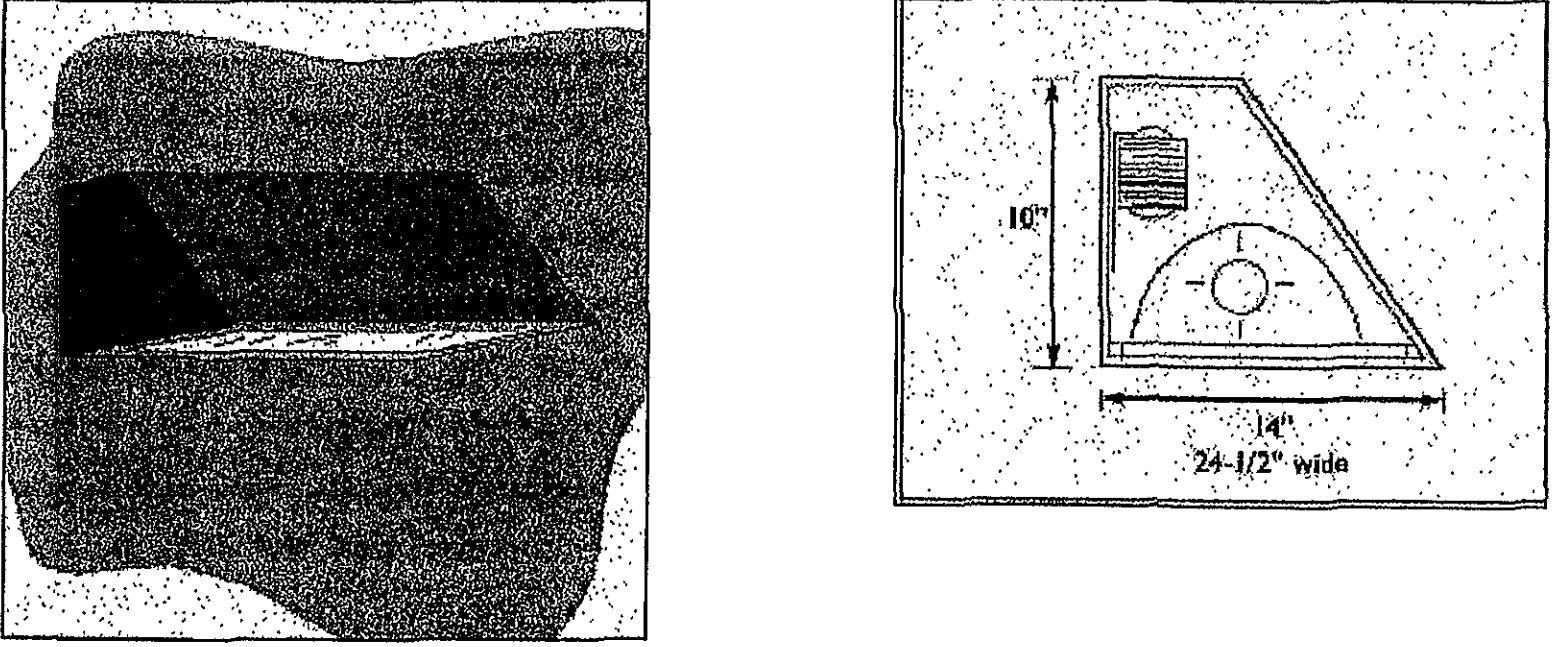
FLOOD STATEMENT:
A PORTION OF THE PROPERTY DOES LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. FINISHED FLOOR ELEVATIONS OF THE OFFICE / WAREHOUSE WILL BE AT ELEVATION 984.2', (3.2') ABOVE THE 100 YEAR FLOOD ELEVATION OF 981'. AS DESIGNATED BY CURRENT FEMA MAP # 51161C0043 D. CERTIFICATION WILL BE PROVIDED AT COMPLETION OF FINISHED FLOOR AND PRIOR TO OCCUPANCY.

PLANT SCHEDULE						
KEY	QUAN	SCIENTIFIC NAME	COMMON NAME	MIN. SIZE	SPACING	REMARKS
LDT-Qp	16	Quercus palustris	PIN OAK	2" Caliper	As Shown	B&B
LET-Ps	66	Pinus strobus	EASTERN WHITE PINE	5' Ht @ Planting	As Shown	B&B
LDT-Ar	3	Acer rubrum	RED MAPLE	2' Caliper	As Shown	B&B

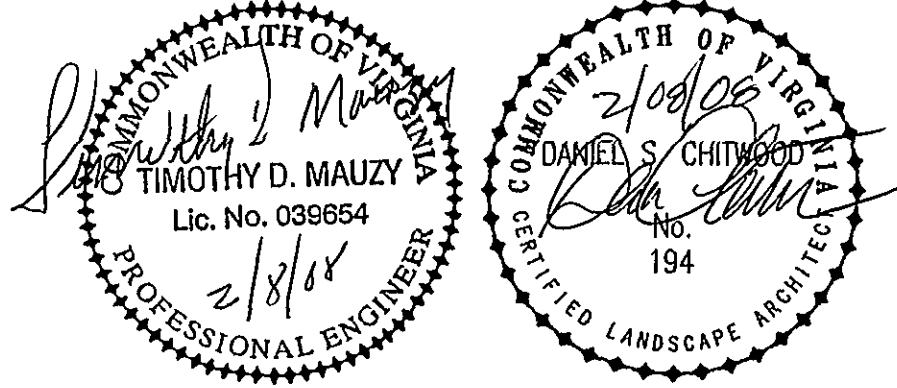
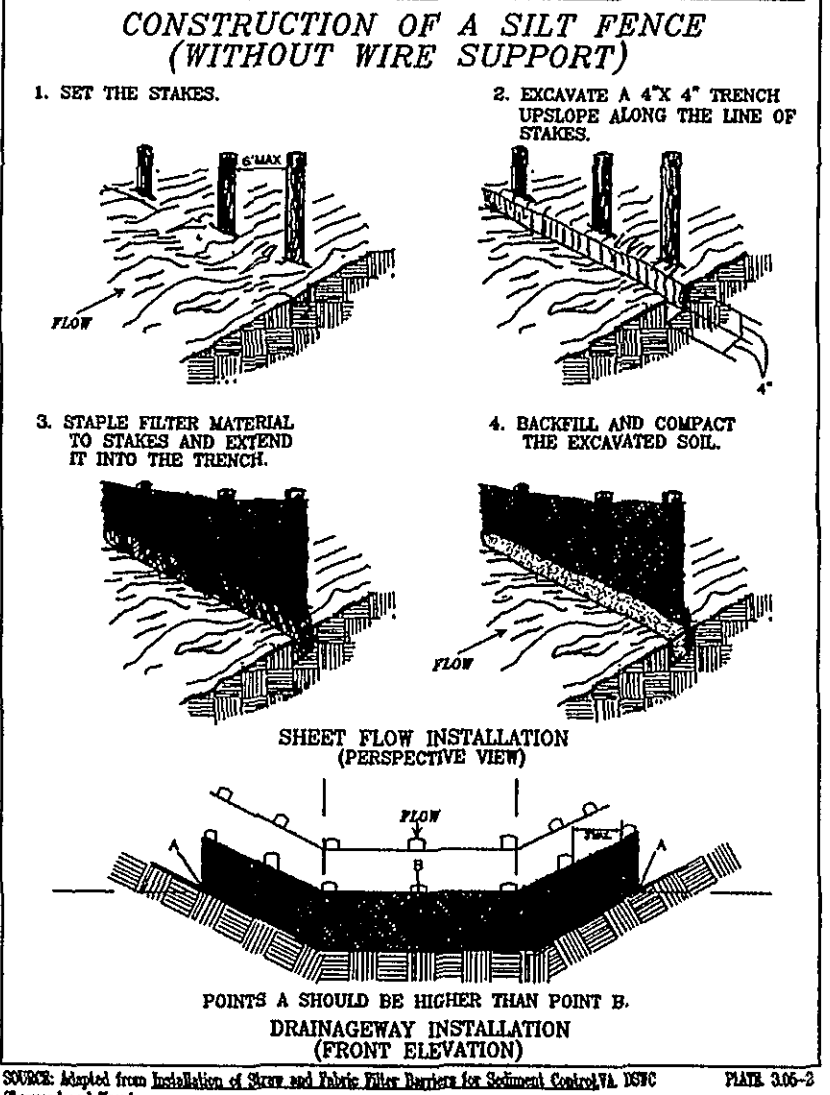
- NOTES:
1. Required tree canopy is 10% of total site area of 3.48 Acres = 151,588 S.F. =15,158 S.F.
16 Pin Oaks @ 254 S.F. plus 66 White Pine @ 177 S.F. plus 3 Red Maple @ 314 =16,688 S.F. total shown.
2. Required interior parking tree canopy is 20% of total parking area of 3,402 S.F. = 680 S.F.
3 Red Maple @ 314 =942 S.F. total shown.



LIGHTING DETAIL:
(7) SCONCE LIGHTS AS SHOWN
ON SITE PLAN



- GENERAL NOTES:
1. Standard commercial Entrance shall have a minimum curb radius (R) of 7 1/2 feet (45' Provided).
1A. Minimum Entrance width to be 12 feet (30' Provided).
2. Whenever Entrances exceeds twenty-four (24) feet in width a 1/2" preformed expansion joint filler shall be installed through the center perpendicular to flow line.
3. Finish Entrances shall have a "course broom finish" running parallel to flow line.
4. Curing shall be accomplished by the use of a liquid membrane seal containing white pigment applied at the rate of one (1) gallon per 150 square feet.
5. All Entrance Ways shall be constructed according to City of Roanoke specifications and to line and grades established by the City Engineering Department.



BOXLEY

BOXLEY MATERIALS COMPANY

ROANOKE, VIRGINIA

DESIGN TDM	PLANT BLUE RIDGE DRIVE, SW
DATE 2/2/08	JOB DESCRIPTION COMPREHENSIVE SITE PLAN DETAILS
SCALE N.T.S. C.I.	JOB NO.
SHEET 1 OF 3	