

SITE STATISTICS:

TAX NUMBER: 6410101
SITE ZONED "MX(c)"
BUILDING HEIGHT: 25 ft (max 45 ft)

PARKING CONSIDERATIONS:
Upon the completion of the proposed development, three parking spaces will be lost in the adjacent parking lot. These three spaces are provided on site with parking in driveways. See sheet C06 for areas designated as parking.

STORMWATER MANAGEMENT CONSIDERATIONS:
Refer to calculations by Providence Engineering for underground detention, pages 16,17,&18 showing:
2.33 Ac grassed
+ 7.60 Ac impervious
9.93 Ac total controlled

CA = 7.54

952 SF addition between building 5 & 6 (shown on sheet C04)
Building #3009 planned at 1500 SF. Actual area = 1618 SF. Increase of 118 SF.
Increase in paved area; Access areas to building: 21'x12' + 24'x26' + 93 SF of sidewalk = 970 SF.
Total increase in impervious area relative to approved plan: 952 + 118 + 970 = 2,040 SF (0.047 Ac)

Phase 4 has not been fully developed:
150' x 150' building w/ 65' x 65' courtyard = 18,275 SF building not built
7,560 SF parking not built
Building #1 of Phase 1 no longer exists.

The existing stormwater detention area will handle the 2,590 SF impervious area.

Land Disturbance = 4,000 SF (Sheet C6) and 900 SF (Sheet C7) totaling 4,900 SF

LANDSCAPING CONSIDERATIONS:
Minimum Tree Canopy: 10% of site = 4,000 SF disturbed x 10% = 400 SF required
Tree Canopy Provided: 2 red maples @ 314 SF = 628 SF

A Building Plan has been reviewed and approved under B080433.

Building is an Accessory Structure, Garage (building type U)

Water and Sewer connections are private. Meter setter is already in place. New cleanout to be installed as shown on sheet C06.

No outdoor lighting is indicated on the building plans or the site plan.

STANDARD CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS

NOTICE: All Landowners, Developers and Contractors

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED ABOVE MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

RIGHT-OF-WAY EXCAVATION PERMIT: Prior to the commencement of any digging, alteration or construction within the public right of way (streets, alleys, public easements) a right of way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.

LAND DISTURBANCE PERMIT: An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.

PLANS AND PERMITS: A copy of the plans approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.

LOCATION OF UTILITIES: The contractor shall verify the location of all existing utilities prior to the commencement of any construction.

CONSTRUCTION ENTRANCE: The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of the construction entrance shall be as shown on the plans.

STREETS TO REMAIN CLEAN: It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust and/or any type of construction materials or litter at all times.

BARRICADES/DITCHES: The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.

SEWER AND PAVEMENT REPLACEMENT: Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.

APPROVED PLANS/CONSTRUCTION CHANGES: Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.

FINAL ACCEPTANCE/CITY: The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a final correct set of as-built plans prior to final acceptance by the City.

PROFFERED CONDITIONS:

- The development will be constructed in such a fashion that the design and quality of construction will be consistent with the existing buildings.
- The property will be developed in such a manner that a frontage access road will be constructed parallel to Peters Creek Road.
- The property will be developed in such a fashion that access to individual parking spaces will not be located so as to gain entrance from the primary access roads through the project.
- All retail displays will be within enclosed buildings.
- All retail signage will be designed so as to comply with existing signage regulations without variances.
- The rear existing buffered area will remain for a width of 25 feet and the side lines adjoining any residences will be buffered with appropriate screening material, a width of at least 15 feet.
- The plantings for the buffered area will begin within thirty (30) days of the rezoning appeal.

THE PROPOSED PLAN IS IN CONFORMANCE WITH THE HISTORY OF THE PROJECT.

Ammendment to Brammer Village Buildings 8, 10, 14 & 15 Plan Dated June 10, 1991

FOR
ROBERT C. BRAMMER

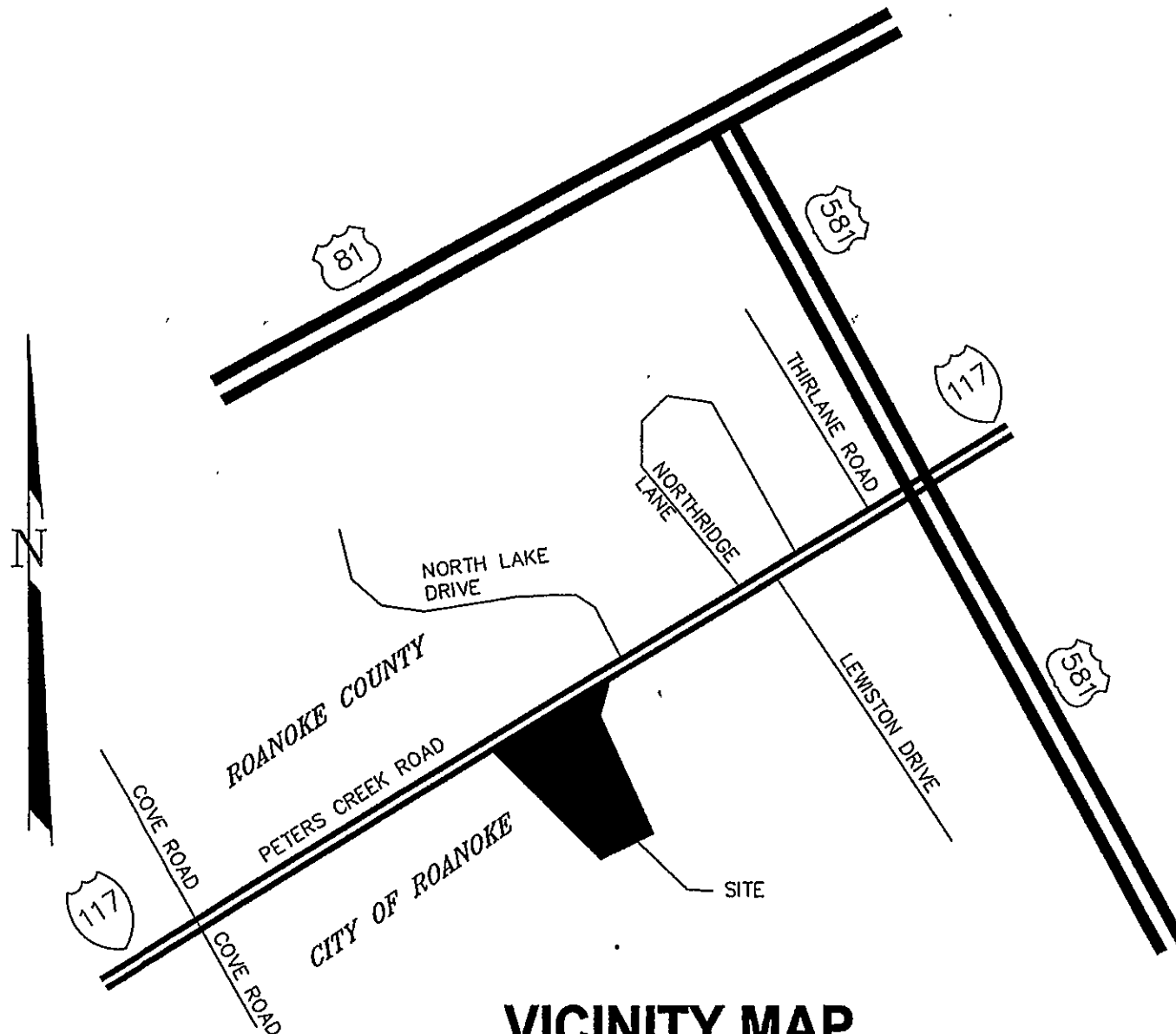
CITY OF ROANOKE, VA
JUNE 12, 2008

DEVELOPMENT PLAN APPROVED
Date 9/4/08
Agent, Planning Commission
Development Engineer
Zoning Administrator
Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

Miss Utility of Virginia
204 RIVERS BEND BOULEVARD
CHESTER, VIRGINIA 23831



BEFORE YOU DIG ANYWHERE IN VIRGINIA! CALL 1-800-552-7001
VA LAW REQUIRES 48 HOURS NOTICE BEFORE YOU EXCAVATE.



VICINITY MAP
NO SCALE

CONTACT INFORMATION:

Engineer/Surveyor: Parker Design Group
816 Boulevard
Salem, VA 24153
ph. (540) 387-1153
fax. (540) 389-5767

Owner/Developer: Robert C. Brammer
3011 Peters Creek Road
Roanoke, VA 24019
ph. (540) 562-1165

LOCAL APPROVALS:

OWNER'S STATEMENT:

LEGEND:

	CONCRETE		YARD LIGHT (S.M.H.)		EX. POWER POLE
	ASPHALT PAVING		TYPICAL YARD HYDRANT		EX. TELEPHONE
	PAVEMENT REPLACEMENT		PROP. FIRE HYDRANT		EX. TELEPHONE PEDestal
	GRAVEL		PROP. AIR RELEASE VALVE		EX. LIGHT POLE
	PAVERS		PROP. GATE VALVE		BENCHMARK
	WETLAND AREA		PROP. BLOW OFF VALVE		
	SURVEYED PROPERTY LINE		PROP. TELEPHONE LINE		
	PROPOSED PROPERTY LINE		PROP. GAS LINE		
	DEED PROPERTY LINE		PROP. SANITARY SEWER LINE		
	EXIST. OVERHEAD POWER		PROP. STORM SEWER LINE		
	EXIST. WATER LINE		PROP. CONTOURS		
	EXIST. OVERHEAD CABLE		EXIST. 2' CONTOURS		
	EXIST. CENTERLINE OF ROAD		EXIST. 10' CONTOURS		
	EXIST. STORM SEWER		PROP. SPOT ELEVATION		
	EXIST. SANITARY SEWER		SILT FENCE		
	PROP. UNDERGROUND ELEC. LINE		PROP. TREE LINE		
	PROP. UNDERGROUND ELEC. SERVICE		RESOURCE MANAGEMENT AREA BOUNDARY		
	PROP. WATERLINE		RESOURCE PROTECTION AREA BOUNDARY		
	PROP. AUDIO CABLE		DITCH LINE		
	EXIST. TREE LINE				
	EXIST. EDGE OF PAVEMENT				

GENERAL NOTES:

- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ± 2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- All construction will be in accordance with City of Roanoke standards and specifications.
- Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Contractor shall coordinate installation of permanent electrical service, telephone service, gas and cable TV. These utility lines shall be underground.
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
- All utilities shall be underground installation.
- Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing City of Roanoke mapping.
- A field review shall be made by the City of Roanoke during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the Owner shall install additional measures as determined and required by the City.
- The contractor or developer is required to notify the City of Roanoke Planning, Building & Development Office in writing at least three (3) days prior to any construction, including, but not limited to the following:

- A. Installation of approved erosion control devices
B. Clearing and grubbing
C. Subgrade excavation
D. Installing storm sewers or culverts
E. Placing gravel base
F. Placing any roadway surface
G. Installing water lines
H. Installing sanitary sewer lines

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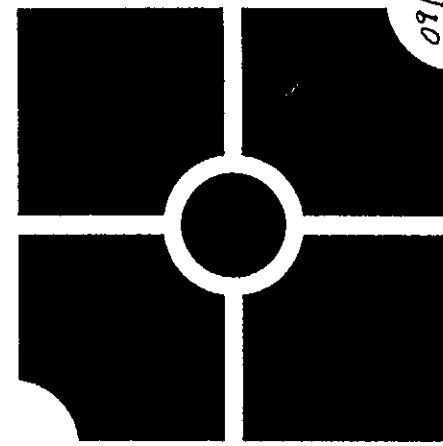
AUG 21 2008

CITY OF ROANOKE
PLANNING BUILDING AND DEVELOPMENT

- A pre-construction conference should be scheduled with the City of Roanoke Planning, Building & Development Office.
- Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site.
- Field construction shall honor proposed drainage divides as shown on plans.
- All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
- It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
- Field corrections shall be approved by the City of Roanoke Planning, Building & Development Office prior to such construction.

SHEET INDEX:

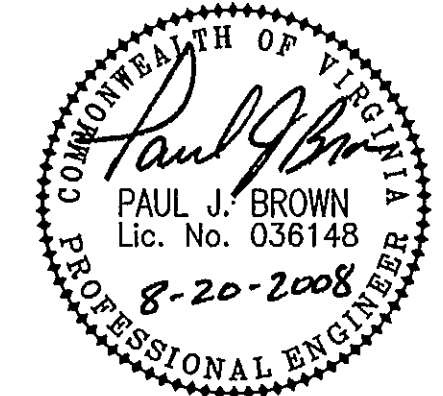
C01	COVER SHEET
C02	HISTORY SHEET (TAX # 6410101)
C03	HISTORY SHEET (TAX # 6410101)
C04	HISTORY SHEET (TAX # 6410103)
C05	HISTORY SHEET (TAX # 6410103)
C06	SITE DEVELOPMENT PLAN
C07	PRIVATE HYDRANT PLAN



parker
DESIGN GROUP

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www.parkerdg.com

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Brammer Village Buildings 8, 10, 14, & 15
Prepared for Robert C. Brammer
Tax # 6410101
City of Roanoke, VA

REVISIONS:

Add 2nd garage pavement August 19, 2008
Add Private Waterline

AS BUILT
11-28-08

DESIGNED BY: SLR

DRAWN BY: SLR

CHECKED BY: PJB

SCALE: N/A

DATE: June 12, 2008

SHEET TITLE:

Cover Sheet

C01
01 OF 07

PROJECT NUMBER:
06-0458-02