

GENERAL NOTES

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE CITY TAX ASSESSMENT MAP No. 5200117.
2. OWNER/DEVELOPER: VIRGINIA LUTHERAN HOMES, INC.
117 SHERATON DRIVE
SALEM, VIRGINIA 24153
PHONE: (540) 552-4441
3. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C.
4. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2013.
5. NO TITLE REPORT WAS FURNISHED FOR THIS PROJECT.
6. THE EXISTING DEVELOPMENT SHOWN ON THESE PLANS IS SERVED BY PRIVATE WATER AND SANITARY SEWER LINES MAINTAINED BY BRANDON OAKS. THE SOURCE PROVIDER FOR THESE LINES IS THE WESTERN VIRGINIA WATER AUTHORITY.
7. THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PRIVATE ROADS.
8. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJACENT PROPERTIES OR RIGHT OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.
9. A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ANY EXTERIOR SIGNAGE.
10. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF ROANOKE, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
11. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENT SHOULD THE SYSTEM BECOME SLOTTED OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.
12. THE PROPERTY SHOWN HEREON DOES NOT FALL WITHIN LIMITS OF A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE COMMUNITY PANEL #010130 0144 G, MAP #0116100144 G, DATED SEPTEMBER 28, 2007. "ZONE X" (UNSHADED)
13. THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITIES. STORM DRAIN STRUCTURES, SANITARY SEWER MANHOLES, AND MOST OTHER SURFACE UTILITIES WERE FIELD LOCATED. ALL UNDERGROUND UTILITIES SHOWN HEREON WERE ESTABLISHED USING ABOVE GROUND STRUCTURES AND AVAILABLE UTILITY MAPS. ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
5. ALL WATER CONNECTIONS TO EXISTING PUBLIC LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.
6. ALL SANITARY SEWER CONNECTIONS TO EXISTING PUBLIC LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ON-SITE.
7. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURBS AND STORM DRAINAGE DETAILS.
8. THE CONTRACTOR AND/OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

GRADING NOTES

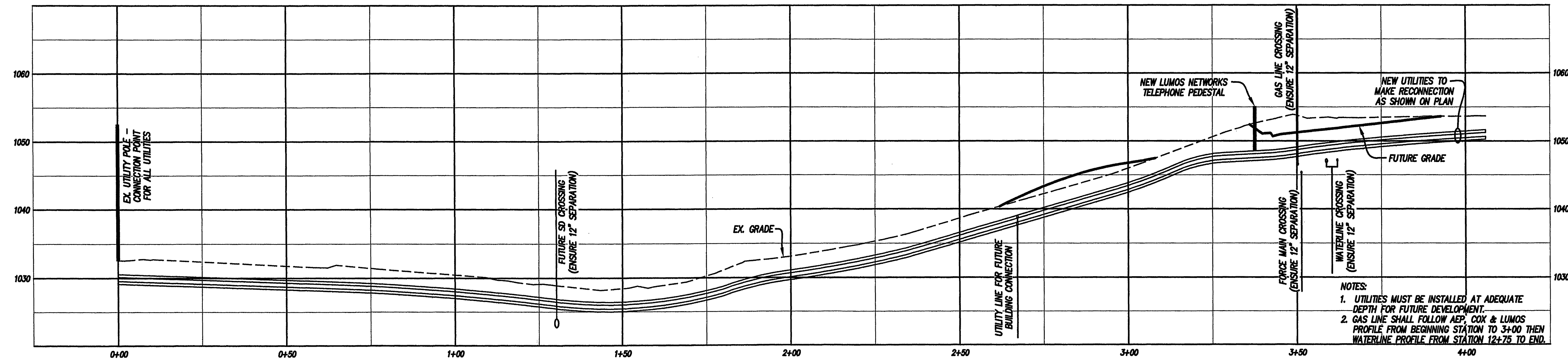
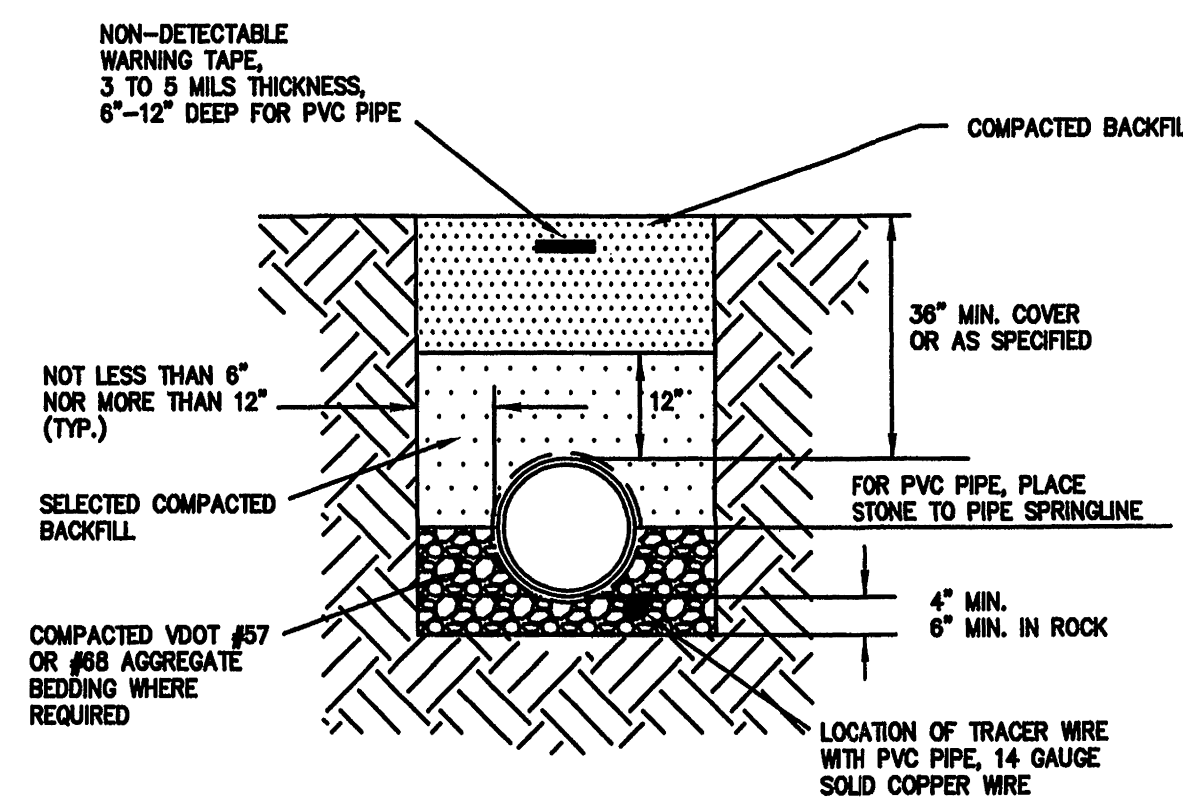
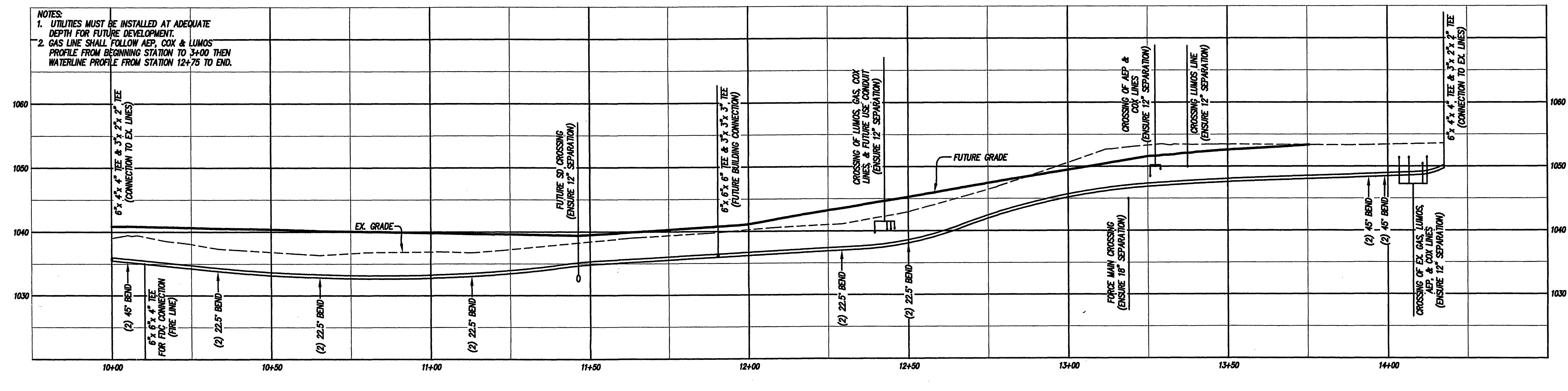
1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. A DETAILED SUBSURFACE SOILS REPORT HAS NOT BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

SITE AND ZONING TABULATIONS

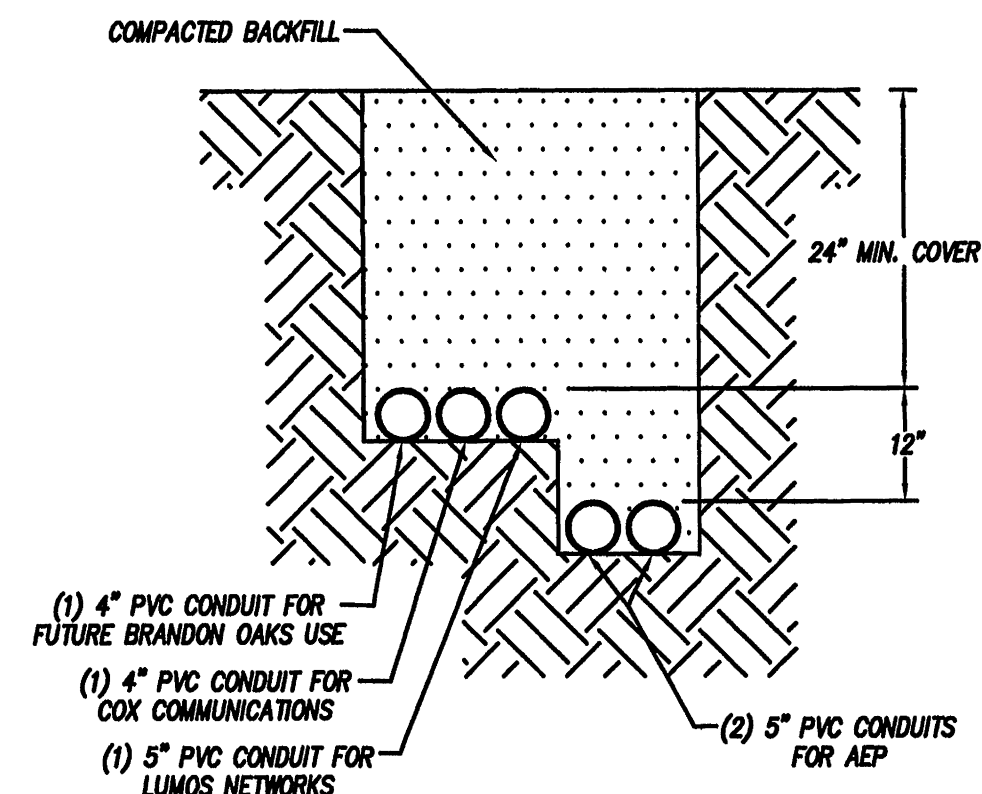
PROPERTY ZONED: RMF - RESIDENTIAL MULTIFAMILY DISTRICT
 PROPOSED USE: UTILITY RELOCATION FOR AN ELDERLY GROUP CARE & REHABILITATION FACILITY
 SITE ACREAGE: 3.615 ACRES
 MIN LOT AREA = 15,000 SF
 MIN LOT FRONTAGE = 100' MIN MIN. FRONT YARD = 10' MIN SIDE YARD = 15'
 MIN REAR YARD = 15'
 MAX HEIGHT ALLOWED = 45'

IMPERVIOUS SURFACE RATIO:

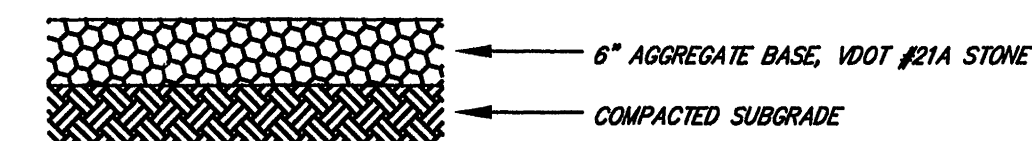
MAXIMUM ALLOWED = 70%
 SITE AREA = 3.615 ACRES
 EXISTING IMPERVIOUS SURFACE AREA = 1.30 ACRES (36.0%)
 PROPOSED IMPERVIOUS SURFACE AREA = 1.30 ACRES (36.0%)

UTILITY RELOCATION PROFILE: AEP, COX COMMUNICATIONS & LUMOS NETWORKS**UTILITY RELOCATION PROFILE: WATER LINES****FORCE MAIN TRENCH BED**

NOT TO SCALE

**UTILITY TRENCH DETAIL**

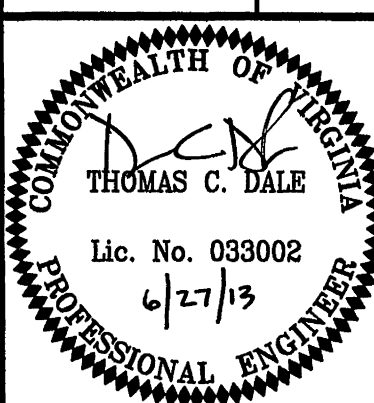
NOT TO SCALE

**GRAVEL SURFACE DETAIL****Utility Contacts**

Company	Contact	Phone Number	Email
Cox Communications	Greg Smith	540-293-2662	Gregory.Smith2@Cox.com
Appalachian Power	Keith Freeman	540-521-1987	KAFreeman@AEP.com
Roanoke Gas	Don Jones	540-777-3851	Don_Jones@RoanokeGas.com
Lumos Networks	Carol Theimer	540-591-5492	Theimer@LumosNet.com
Western Virginia Water Authority	Chris Carey	540-853-5637	Chris.Carey@WesternVaWater.org

THIS PLAN IS FOR UTILITY RELOCATION ONLY

LUMSDEN ASSOCIATES, P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 ROANOKE, VIRGINIA

**UTILITY PROFILES, NOTES, & DETAILS**

UTILITY RELOCATION PLAN
 FOR
 BRANDON OAKS NURSING &
 REHABILITATION CENTER EXPANSION
 SITUATED AT
 3837 BRANDON AVENUE, S.W.
 THE CITY OF ROANOKE, VIRGINIA

APPROVED
 AUG 06 2013

REVISIONS	DATE	DESCRIPTION
NO.	1	
2		
3		
4		
5		

DATE: June 27, 2013

SCALE: 1"= 20' (H); 1"= 10' (V)

COMMISSION NO. 12-098

SHEET 3 OF 4