

PETERS CREEK ROAD - ST. RTE. 117  
R/W VARIES

PETER C. & PATTY S. HITE  
T.M. #027.14-02-12.00-0000  
6621 PETERS CREEK RD

STONELYN COTTAGE COURT  
PRIVATE VARIABLE WIDTH R/W

"THE COTTAGES AT STONELYN"  
P.B. 28, PG. 146  
ZONING DISTRICT R4

N/F  
BEVERLY M. HITE  
D.B. 1524, PG. 1739  
T.M. #027.14-02-11.01-0000  
PARCEL 1A  
P.B. 17, PG. 56  
ZONING DISTRICT C2CS

N/F  
WILLIAM L. & BEVERLY M. HITE  
D.B. 1464, PG. 950  
T.M. #027.14-02-11.00-0000  
PARCEL 1  
P.B. 17, PG. 56  
ZONING DISTRICT R1

ELIZABETH SUE BIAS  
T.M. #027.14-02-11.00-0000

#### SITE MASTER PLAN SUMMARY TABLE

TOTAL SITE AREA = 9.29 ACRES = 404,649 S.F.  
BUILDING FOOTPRINT AREA (BIRD'S EYE VIEW): 45,653 S.F.  
BUILDING TOTAL GROSS FLOOR AREA: 76,009 S.F.  
SITE ADDRESS: 6533 PETERS CREEK ROAD  
TAX MAP# 027.14-02-09

ADJACENT ZONING: C2, R1, R3, R4  
ADJACENT LAND USE: AUTOMOBILE SALES AND REPAIR, SINGLE FAMILY RESIDENTIAL, MULTI-FAMILY RESIDENTIAL  
PRIMARY LAND USE: PRIMARY SCHOOL, ATHLETIC FIELDS & ASSOC. PARKING  
ZONING: C2, GENERAL COM., EDUCATIONAL FACILITY, MOD BY ORD SEC. 30-83-5  
MINIMUM LOT REQUIREMENTS:  
-LOT AREA: MIN = 15,000 S.F. (0.34 AC.), ACTUAL = 404,649 S.F.  
-LOT FRONTAGE: MIN = 100', ACTUAL = ±1280'

MINIMUM SETBACK REQUIREMENTS:  
FRONT YARD\*:  
-PRINCIPAL STRUCTURE: 30' (20' IF PARKING BEHIND FRONT BLDG LINE)  
-ACCESSORY STRUCTURE: BEHIND THE FRONT BUILDING LINE  
\*FRONT YARD SETBACK APPLIES TO ALL FRONTED STREETS  
REAR YARD:  
-PRINCIPAL STRUCTURE: 15'  
-ACCESSORY STRUCTURE: 3'  
SIDE YARD:  
-PRINCIPAL STRUCTURE: 0'  
-ACCESSORY STRUCTURE: 0'

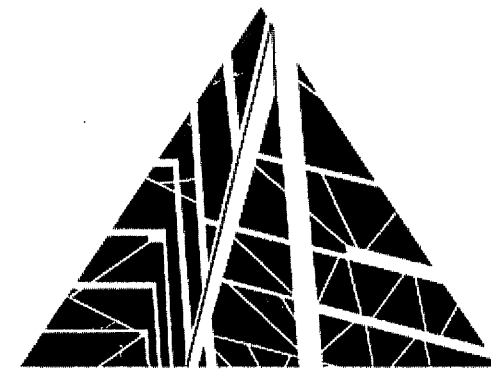
MAXIMUM HEIGHT OF STRUCTURES:  
-PRINCIPAL STRUCTURE = 45', ACTUAL = +/-45' EXISTING, 27.5' PROPOSED  
-ACCESSORY STRUCTURES = ACTUAL HEIGHT OF PRINCIPLE STRUCTURE  
\*PRINCIPAL STRUCTURE HEIGHT MAY BE INCREASED WITH INCREASED SETBACKS  
MAXIMUM COVERAGE:  
-BUILDING COVERAGE: MAX = 50% OF LOT AREA, ACTUAL = 11%  
-LOT COVERAGE: MAX = 90% OF LOT AREA, ACTUAL = 35.5%  
REQUIRED BUFFER TYPE: ALONG R1 ZONING: TYPE C (30' or 40' BUFFER)  
ALONG R3, R4 ZONING: TYPE B (20' or 30' BUFFER)  
AT RECREATIONAL AREAS: 1 ROW OF SMALL EVERGREEN TREES  
PARKING: ADJACENT TO RIGHT-OF-WAYS: 10' WIDE PLANTING STRIP

KEY PLAN

APPROVED

#### GENERAL NOTES

1. SITE DEVELOPMENT PLAN AND CALCULATIONS PROVIDED ON THIS SHEET REPRESENT A SCHEMATIC OF ULTIMATE SITE DEVELOPMENT AND DO NOT NECESSARILY REPRESENT ALL WORK WITHIN THE ATTACHED PROJECT DOCUMENTS, NOR PRESENT CONDITIONS.
2. WORK WITHIN THE ATTACHED PROJECT DOCUMENTS PERTAINS TO PLANNING AREA #1 ONLY.



SPECTRUM DESIGN  
architects | engineers

10 CHURCH AVE SE, PLAZA SUITE 1, ROANOKE, VIRGINIA 24011 540.342.8001

## BURLINGTON ELEMENTARY SCHOOL ROANOKE, VIRGINIA

SPECTRUM DESIGN PROJECT NO. 11048



DATE  
DESIGN ARCHITECT  
PROJECT ARCHITECT  
PROJECT ENGINEER  
CHECKED BY  
DRAWN BY  
REVISIONS

21 NOVEMBER 2011  
MAR  
MF  
NUMBER  
DATE

SHEET TITLE

## SITE DEVELOPMENT MASTER PLAN

C100

PLANNING AREA #1: 3.00 AC.  
EXISTING DEVELOPED AREA = 0.81 AC.  
EXISTING PHOSPHOROUS LOADING = 2.00 LB/YR  
PROPOSED DEVELOPED AREA = 1.29 AC.  
PROPOSED PHOSPHOROUS LOADING = 2.99 LB/YR  
PROPOSED PHOSPHOROUS REMOVAL = 1.36 LB/YR

PLANNING AREA #3: 5.08 AC.  
EXISTING DEVELOPED AREA = 1.43 AC.  
EXISTING PHOSPHOROUS LOADING = 3.51 LB/YR  
PROPOSED DEVELOPED AREA = 1.34 AC.  
PROPOSED PHOSPHOROUS LOADING = 3.33 LB/YR  
PROPOSED PHOSPHOROUS REMOVAL = 0.00 LB/YR

9.290 ACRES  
FROM RECORDS  
T.M. #027.14-02-09.00-0000  
ZONING DISTRICT C2

N/F  
PETERS CREEK II ASSOCIATES LP  
INST. #200522048  
T.M. #027.14-02-07.04-0000  
TRACT D-1  
P.B. 29, PG. 170  
ZONING DISTRICT R3C

MULTI-LEVEL BRICK BUILDING  
"BURLINGTON ELEMENTARY"  
#6533  
FF=1095.01

PLANNING AREA #2: 1.21 AC.  
EXISTING DEVELOPED AREA = 0.78 AC.  
EXISTING PHOSPHOROUS LOADING = 1.74 LB/YR  
PROPOSED DEVELOPED AREA = 0.67 AC.  
PROPOSED PHOSPHOROUS LOADING = 1.51 LB/YR  
PROPOSED PHOSPHOROUS REMOVAL = 0.00 LB/YR

#### WATER QUALITY SITE CALCULATIONS

EXISTING LOADING=(0.05+(0.009X32.5))X9.29X2.28=  
7.25 LBS/YR  
ALLOWABLE LOADING=7.25X0.9=  
6.53 LBS/YR  
PROPOSED LOADING (UNTREATED)=(0.05+(0.009X35.5))  
X9.29X2.28=  
7.83 LBS/YR  
PROPOSED REMOVAL=1.36 LBS/YR  
PROPOSED LOADING (TREATED)=7.83-1.36=6.47  
LBS/YR  
6.47 LBS/YR<6.53 LBS/YR

#### LEGEND

ULTIMATE DEVELOPED AREA  
PERVIOUS PAVEMENT  
H/C PARKING  
BICYCLE RACKS

1" = 40'-0"

PARKING REQUIREMENTS EDUCATIONAL FACILITIES, PRIMARY/SECONDARY (Minimum Required per Sec. 30-91-3-3)	
- ONE SPACE PER EMPLOYEE	
TOTAL EMPLOYEES = 80	
REQUIRED = 80 SPACES	
ALL PARKING OVER 88 MUST BE PERVIOUS PAVEMENT	
- HANDICAPPED =	
TOTAL SPACES IN LOT: 101-150	
REQUIRED = 4 STD & 1 VAN = 5 MINIMUM	

SITE MASTER PLAN PARKING TABULATIONS	
IMPERVIOUS PAVED SPACES	87
+PERVIOUS PAVED SPACES	28
TOTAL PAVED EDUCATIONAL USE SPACES PROVIDED	= 115
HANDICAPPED = 2 STD & 4 VAN = 6 TOTAL PROVIDED	

LOADING TABULATIONS	
REQUIRED	1 @ 10' X 20'
PROVIDED	5 @ 10' X 20', PARENT DROP-OFF

BICYCLE PARKING REQUIREMENTS (Minimum Required per Sec. 30-91-5-1)	
1 SPACE PER 20 AUTO PARKING SPACES*	115
TOTAL AUTO PARKING	8
REQUIRED BICYCLE PARKING	6
PROVIDED BICYCLE PARKING	6
*(MAX REQUIRED=20)	