

# QUANTITY + COST ESTIMATE

ITEM	QUANTITY	UNIT	UNIT PRICE	COST	BONDABLE
CLEARING AND GRUBBING	1	1	\$5,000.00	\$5,000.00	
EXCAVATION		LS			
EMBANKMENT		C.Y.			
CURB INLET DI- 3B & 3C	1	EACH	\$1500.00	\$1,500.00	
VDOT STD. DI-1	1	EACH	\$1500.00	\$1,500.00	
VDOT STD. DI-7	1	EACH	\$1500.00	\$1,500.00	
MANHOLE MH-		EACH			
MANHOLE MH- STORM DRAIN		EACH			
15 -IN. CONCRETE PIPE	64	LIN. FT.	\$20.00	\$1,280.00	
18 -IN. HDPE	64	LIN. FT.	\$25.00	\$1,600.00	
15 -IN. C.M. CULVERT		LIN. FT.			
18 -IN. C.M. CULVERT		LIN. FT.			
BOX CULVERT		LUMP SUM			
PAVED DITCH		LIN. FT.			
RIPRAP - CLASS		TONS			
SODDED SWALE		S.Y.			
-IN. CONCRETE ENDWALL EW-		EACH			
-IN. END SECTION ES-		EACH			
HEADER CURB & GUTTER CG-2	200	LIN. FT.	12	\$2,400.00	
CURB & GUTTER CG-6		LIN. FT.			
VALLEY GUTTER		EACH			
GRAVEL BASE		S.Y.			
GRAVEL SHOULDER		S.Y.			
SURFACE TREATMENT		S.Y.			
-IN. BIT. CONC.: TYPE B-		S.Y.			
-IN. BIT. CONC.: TYPE SM2A	420	TONS	\$40.00	\$16,800.00	
6 -IN. BASE MATERIAL 21-A	1100	TONS	\$12.00	\$13,200.00	
-IN. SUBBASE MATERIAL		C.Y.			
WATER METERS		EA			
8" WATER LINE		LIN. FT.			
4" WATER LINE		LIN. FT.			
FIRE HYDRANT ASSEMBLIES		EACH			
BLOW OFFS W/VAULT, FRAME & COVER		EACH			
8 -IN. GATE VALVES, W/VAULT, FRAME & COVER		EACH			
-IN. GATE VALVES, W/VAULT, FRAME & COVER		EACH			
8" SANITARY SEWER		LIN. FT.			
STANDARD MANHOLE W/FRAME & COVER		EACH			
AS-BUILT PLANS		LUMP SUM	\$1,000.00	\$1,000.00	
LANDSCAPING		LUMP SUM	\$10,000.00	\$10,000.00	
STORMWATER MANAGEMENT		LUMP SUM	\$32,450.00	\$32,450.00	
SUBTOTAL				\$88,230.00	
10% CONTINGENCY				\$8,823.00	
ESTIMATED TOTAL				\$97,053.00	
I HEREBY CERTIFY THAT THE FOREGOING ESTIMATE REFLECTS THE CURRENT IMPROVEMENT COSTS OF THIS PROJECT.					
SIGNED:			DATE:		

# GENERAL NOTES

All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County.

The contractor or developer is required to notify the Roanoke County Engineering Division in writing at least three (3) days prior to any any construction, including, but not limited to the following:

- Installation of approved erosion control devices
- Clearing and grubbing
- Subgrade excavation
- Installing storm sewers or culverts
- Setting curb and gutter forms
- Placing curb and gutter
- Placing other concrete
- Placing gravel base
- Placing any roadway surface
- Installing water lines
- Installing sanitary sewer lines

A pre-construction conference should be scheduled with the Roanoke County Engineering Division, to be held at least one (1) day prior to any construction.

Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.

Any construction to be done in the right-of-ways are to be applied and approved by the Roanoke County Public Works Department. Construction for entrances and right-of-ways are to be based on VDOT standards and specifications.

Plan approval does not guarantee issuance of any permits by Roanoke County.

An approved set of plans and all permits must be available at the construction site.

Field construction shall honor proposed drainage divides as shown on plans.

All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

Pavement sections on approved plans are based on a minimum CBR of 10. CBR tests are to be performed by the engineer and submitted to V.D.O.T. and to the Roanoke County Public Works Department prior to placement. CBR values < 10 will require revised pavement sections.

All roadside ditches or grades of more than 5 percent shall be paved with cement concrete to the limits as indicated on the plans and as required at the field inspection.

All springs shall be capped and piped to the nearest storm sewer or natural watercourse. The pipe shall be 6 inch minimum diameter and conform to V.D.O.T. Standard SB-1.

Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.

Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site.

The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.

The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.

Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001. For water and sewer utilities, contact Vinton Public Works at 983-0646. The developer or contractor shall supply the county/Town of Vinton with correct As-Built plans before final acceptance.

All work shall be subject to inspection by Roanoke County inspectors.

Field corrections shall be approved by the Roanoke County Engineering Division prior to such construction.

100 year floodway and floodplain information shall be shown where applicable.

Grade stakes shall be set for all curb and gutter, culver, sanitary sewer and storm sewer.

# INDEX

- COVER SHEET 09/03/07
- PLAN SHEET 12/01/07
- GRADING SHEET 03/03/08
- E&S SHEET
- LANDSCAPING SHEET
- STORMWATER MANAGEMENT SHEET
- E&S DETAIL SHEET
- E & S NARRATIVE
- MISCELLANEOUS DETAILS
- PROFILE SHEET

# SEWER NOTES

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering all manholes after paving. Manhole tops shall be adjusted to grade if necessary.

All existing utilities may not be shown or may not be shown in the exact location. The contractor shall comply with State Water Works Regulations, Section 12.05.03, where lines cross.

House connections are to be made with 4" pipe installed at a minimum grade of 1/4 inch to 1 foot in R/W.

Laterals from manholes shall be PVC or Ductile Iron of sufficient length to provide two (2) feet of bearing on natural ground. The transition from ductile iron to asbestos cement or concrete pipe shall be made with an adapter coupling in R/W.

All trenches in existing or future rights-of-way shall be compacted according to V.D.O.T. standards.

Lines shall be staked prior to construction.

# WATER NOTES

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering valve vaults after paving and adjustment to final grade if necessary.

All existing utilities may not be shown or may not be shown in the exact location. The contractor shall comply with the State Water Works Regulations, Section 12.05.03, where lines cross.

All trenches in existing or future highway right-of-ways shall be compacted according to V.D.O.T. standards.

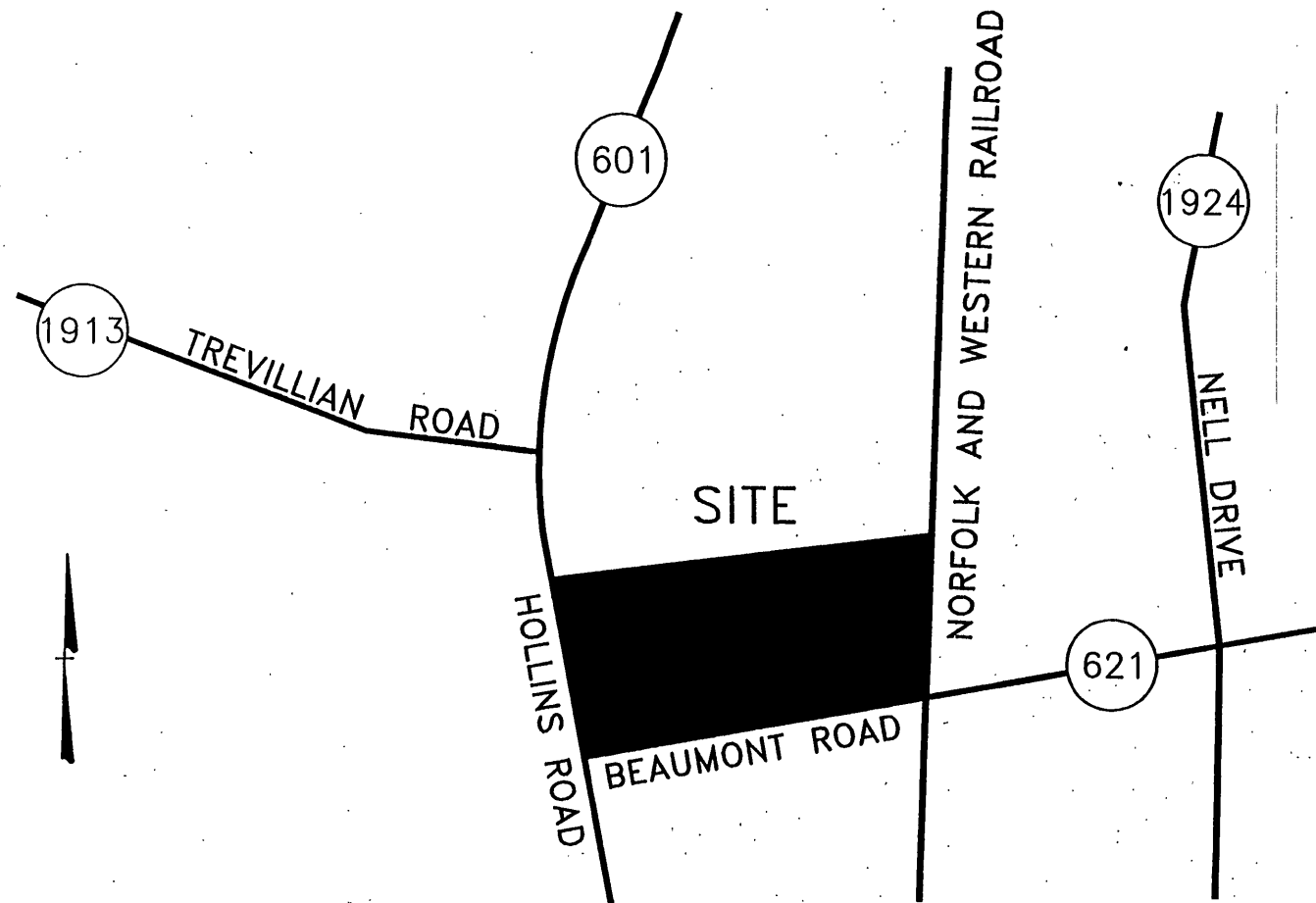
Lines shall be staked prior to construction.

Water main shall be minimum Class 52 Ductile Iron in accordance to AWWA C151 or DR-14 PVC in accordance with AWWA C-900.

Availability number

# LEGEND

Property Line	---
Right-of-way	--- R/W ---
Centerline	--- C ---
Minimum Building Line	--- M.B.L. ---
Existing Storm Sewer	--- 18" S.D. --- 18" S.D. ---
Existing Sanitary Sewer	--- 8" SAN. --- 8" SAN. ---
Existing Water Main	--- 4" W --- 4" W ---
Existing Contour	--- 1045 ---
Proposed Contour	--- 1045 ---
Proposed Drainage Divide	< <
Proposed Limits of Clearing	--- 24" S.D. ---
Proposed Storm Sewer	--- 8" M.H. ---
Proposed Sanitary Sewer	--- 8" M.H. ---
Proposed Water Main	--- 8" M.H. ---
HYDRANT	HYDRANT
VALVE	VALVE
BLOWOFF	BLOWOFF



VICINITY MAP

# SURVEY INFORMATION

Horizontal and vertical control surveys were performed in (year) May 2007 by Pierson Engineering & Surveying

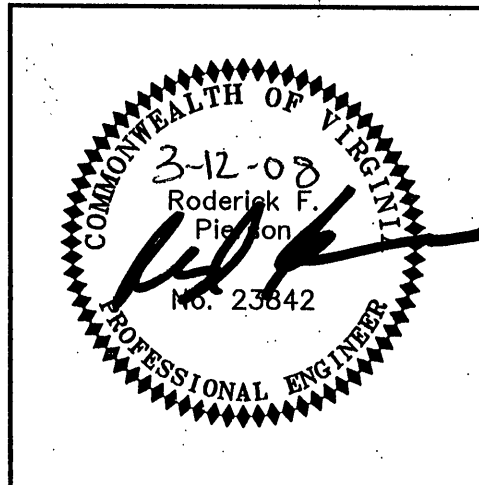
Source of topographic mapping is Pierson Engineering & Surveying dated May 2007

Boundary was performed by Pierson Engineering & Surveying dated May 2007

The professional seal and signature below certifies the boundary survey and topographic mapping to be accurate and correct.

I, as Buyer, IDENTIFY AS THE INDIVIDUAL IN CHARGE OF AND RESPONSIBLE FOR LAND DISTURBING ACTIVITIES ASSOCIATED WITH THIS EROSION AND SEDIMENT CONTROL PLAN. I AGREE TO NOTIFY THE COUNTY OF ROANOKE IN WRITING SHOULD I TRANSFER THIS RESPONSIBILITY TO ANOTHER CERTIFIED INDIVIDUAL BEFORE THE COMPLETION OF THIS PROJECT AND THE RELEASE OF THE EROSION AND SEDIMENT CONTROL BOND.

DEVELOPMENT PLAN APPROVED FOR CONSTRUCTION BY ROANOKE COUNTY		
Department		Date
Development Review	<i>[Signature]</i>	3/14/08
Engineering	<i>[Signature]</i>	3/14/08
Water & Sewer	<i>[Signature]</i>	3/14/08
Planning & Zoning	<i>[Signature]</i>	3/13/08



APPROVED

as Buyer  
5-11-12

# ROANOKE COUNTY

NAME OF DEVELOPMENT DEVELOPMENT PLAN FOR C-FIRST

MAGISTERIAL DISTRICT(S) HOLLINS

OWNER (name, address, telephone) C-First Real Estate Group, LLC P.O. Box 19654 Roanoke, VA 24019 540-765-8002 (Contact: Eric Lloyd)

DEVELOPER (name, address, telephone) C-First Real Estate Group, LLC P.O. Box 19654 Roanoke, VA 24019 540-765-8002 (Contact: Eric Lloyd)

ENGINEER, ARCHITECT OR SURVEYOR (name, address, telephone) PIERSON ENGINEERING & SURVEYING Rodney Pierson, LLS, PE.

Phone: (540) 968-3027

1324 Roanoke Road  
P.O. Box 311  
220 North  
Daleville, VA. 24083

TAX MAP NO(S) 028.17-03-11.00-0000

BLOCK NO(S)

PARCEL NO(S)