

## GENERAL NOTES

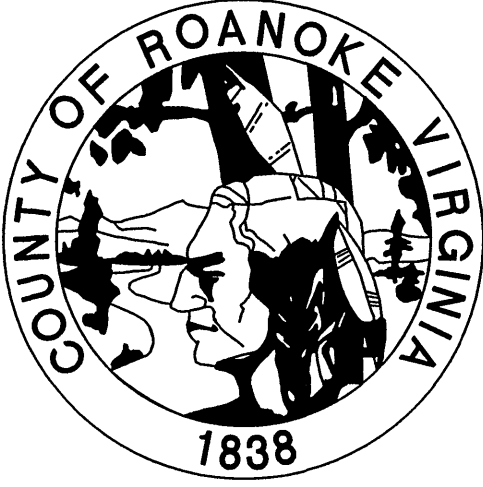
### PRE-CONSTRUCTION MEETING AND CONSTRUCTION COMMENCEMENT:

- All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County, the Western Virginia Water Authority, and the Virginia Department of Transportation.
- Stormwater Management Agreements with an attached 8 1/2" x 11" or 8 1/2" x 14" plat must be approved and recorded prior to the pre-construction meeting.
- Once all required items are submitted to the County of Roanoke, the developer must contact the Development Review Coordinator to indicate that a pre-construction meeting needs to be scheduled. The pre-construction meeting will be scheduled with the owner/developer two (2) working days later.
- Please note the 2001 General Assembly revisions to Va Erosion and Sediment Control Law. Effective July 1, 2001, all land disturbing projects that require approval of an erosion and sediment control plan, grading or clearing permit shall require that the applicant provide the name of an individual who will be responsible for land disturbing activities and that this individual hold a Responsible Land Disturber (RLD) Certificate from the Department of Conservation and Recreation. The Responsible Land Disturber can be anyone from the Project team that is certified by the State of Virginia to be in charge of carrying out the land disturbing activity for the project.
- It is the responsibility of the owner/developer to notify the certified Responsible Land Disturber and the Utility Contractor to attend the pre-construction meeting.
- The Development Review Coordinator will schedule the pre-construction meeting with the County Review Engineer, the County Inspector, and the Western Virginia Water Authority and the Town of Vinton Public Works Department if applicable.
- An approved set of plans and all permits must be available at the construction site at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- The project engineer will inform the owner/developer verbally and in writing of the County's obligation to perform inspections on site. Everyone in the meeting will be required to sign a pre-construction checklist indicating their knowledge of Roanoke County's obligation to perform inspections on site.
- The Erosion Control Permit is given to the developer at this pre-construction meeting.
- The developer **MUST** contact the project inspector 24 hours before beginning any grading or construction on the property.
- The project inspector will visit the site within 48 hours of the developer's call to ensure that all necessary erosion and sediment control measures are properly installed according to the approved plan.
- All work shall be subject to inspection by Roanoke County, the Western Virginia Water Authority and the Virginia Department of Transportation Inspectors.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
- 100 year Floodway and Floodplain information shall be shown where applicable. FIRM Index Date shall be shown on the plans. The 100 year Floodway shall be staked prior to any construction.
- Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer at all times of construction.
- The Department of Community Development shall be notified when a spring is encountered during construction.
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site.
- The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets or rights of ways. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- Plan approval in no way relieves the developer or contractors of the responsibilities contained within the erosion and sediment control policies.
- Field construction shall honor proposed drainage divides as shown on plans.
- Field corrections shall be approved by the Roanoke County Engineering Division and/or the Western Virginia Water Authority and the Professional of Record, prior to such construction.
- The developer or contractor shall supply the County and the Western Virginia Water Authority with correct As-Built plans before final acceptance.

### VIRGINIA DEPARTMENT OF TRANSPORTATION:

- Plan approval by Roanoke County does not guarantee issuance of any permits by the Virginia Department of Transportation.
- A permit must be obtained from the Virginia Department of Transportation, Salem Residency Office prior to construction in the highway right-of-way.
- The preliminary pavement designs should be based on a predicted sub-grade CDR value of 7.0 and with a Resiliency Factor (RF) of 2.0 as shown in Appendix I of the 2000 Virginia Department of Transportation Pavement Design Guide for Subdivision and Secondary Roads. The sub-grade soil is to be tested by an independent laboratory and the results submitted to the Virginia Department of Transportation prior to base construction. Should the sub-grade CBR value and/or the RF value be less than the predicted values, additional base material will be required in accordance with Departmental specifications. Refer to the same manual as the number and locations of the required soil samples to be tested. All pavement designs shall be submitted to the Department for review and approval. The sub-grade shall be approved by the Virginia Department of Transportation prior to placement of the base. Base shall be approved by the Virginia Department of Transportation for depth, template, and compaction before the surface is applied.
- Standard guardrail with safety end sections may be required on fills or in areas where hazards exist as deemed necessary. After completion of rough grading operations, the County Engineer and Virginia Department of Transportation shall be contacted to schedule a field review. Where guard rail is warranted, the standard shoulder width shall be provided and the guard rail shall be installed in accordance with the 2001 VDOT Road and Bridge Standards as part of this development.
- Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.
- All traffic devices shall be in accordance with current edition of the manual: "Uniform Traffic Control Devices (MUTCD)"
- All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.

The Project Engineer shall provide electronic copies of the approved plans to the Development Review Coordinator within 5 working days of the pre-construction meeting. This sheet may not be modified.



NAME OF DEVELOPMENT	CVS/PHARMACY STORE #7903	OWNER/DEVELOPER, I. David Todd AM AWARE OF THE SITE DESIGN REQUIREMENTS IMPOSED BY THIS SITE DEVELOPMENT PLAN AND OTHER APPLICABLE ROANOKE COUNTY CODES. I HEREBY CERTIFY THAT I AGREE TO COMPLY WITH THESE REQUIREMENTS AND THE THIRTY (30) POINTS SHOWN ON THIS COVER SHEET UNLESS MODIFIED IN ACCORDANCE WITH LOCAL LAW.
MAGISTERIAL DISTRICT(S)	VINTON DISTRICT	
OWNER	CVS 7503 VA, L.L.C. A DELAWARE LIMITED LIABILITY COMPANY, ONE CVS DR., WOONSOCKET, RI 02895	
DEVELOPER	THE REBKEE COMPANY, 15871 CITY VIEW DR. STE 300, MIDLOTHIAN, VA 23113-7308 (804) 419-0740 (CONTACT: DAVID TODD)	
ENGINEER, ARCHITECT OR SURVEYOR	KIMLEY-HORN AND ASSOCIATES, INC., 1500 FOREST AVE. STE 115, RICHMOND VA, 23229 (804) 673-3882 (CONTACT: RYAN PERKINS)	
TAX MAP NO(S)	050.01-01-03.00-0000, 050.00-01-04.00-0000	

## WATER NOTES

All water facilities shall be installed according to the Western Virginia Water Authority Design and Construction Standards/ (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering valve vaults after paving and adjustment to final grade if necessary.

All existing utilities may not be shown in their exact location. The contractor shall comply with the (State Water Works Regulations, Section 12.05.03, where lines cross.

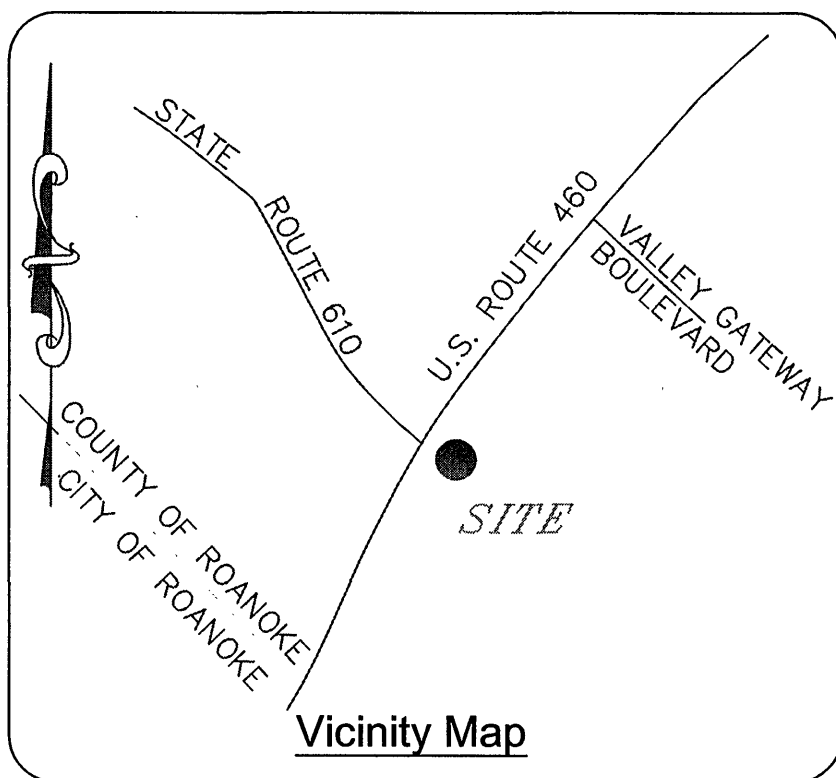
All trenches in existing or future highway right-of-ways shall be compacted according to Virginia Department of Transportation standards.

Lines shall be staked prior to construction.

Water main shall be minimum Class 350 Ductile Iron in accordance to AWWA C151 or DR-14 PVC in accordance with AWWA C-900.

Ductile Iron Pipe in accordance with the Western Virginia Water Authority Design and Construction Standards shall be required for all pipe with a working pressure equal to or greater than 100 p.s.i.

Western Virginia Water Authority  
Availability letter number: 09-168

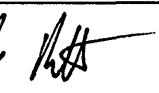


## LEGEND

Property Line	— P —
Right-of-way	— R/W —
Centerline	— CL —
Minimum Building Line	— MBL —
Existing Storm Sewer	— 18" SD — 18" SD —
Existing Sanitary Sewer	— 8" SS — 8" SS —
Existing Water Main	— 4" W — 4" W —
Existing Contour	— 1045 —
Proposed Contour	— 1045 —
Proposed Drainage Divide	— < —
Proposed Limits of Clearing	— 24' S.D. —
Proposed Storm Sewer	— 8" M.H. —
Proposed Sanitary Sewer	— 8" M.H. —
Proposed Water Main	— HYDRANT — VALVE — BLOWOFF —

# County of Roanoke, Va

## QUANTITY & COST OPINION

ITEM	QUANTITY	UNIT	UNIT PRICE	COST	BONDABLE
CLEARING AND GRUBBING	3.83	ACRES	\$5,000	\$19,150	\$19,150
EXPORT	30,000	C.Y.	\$9	\$270,000	\$270,000
RETAINING WALL	3,000	SF	\$20	\$60,000	\$60,000
CURB INLET DI-3B	3	EACH	\$2,800	\$8,400	\$8,400
CURB INLET DI-3BB	1	EACH	\$2,800	\$2,800	\$2,800
CURB INLET DI-3C	4	EACH	\$2,800	\$11,200	\$11,200
CURB INLET DI-2A	1	EACH	\$2,800	\$2,800	\$2,800
MODIFIED MH-1	1	EACH	\$2,800	\$2,800	\$2,800
MODIFIED JB-1	1	EACH	\$5,000	\$5,000	\$5,000
MANHOLE MH-1	2	EACH	\$2,800	\$5,600	\$5,600
12" ADS N-12 PIPE	10	LIN. FT.	\$40	\$400	\$400
15" ADS N-12 PIPE	550	LIN. FT.	\$40	\$22,000	\$22,000
18" ADS N-12 PIPE	10	LIN. FT.	\$40	\$400	\$400
36" ADS N-12 PIPE	10	LIN. FT.	\$40	\$400	\$400
8" PVC PIPE	250	LIN. FT.	\$25	\$2,250	\$2,250
15-IN. CONCRETE PIPE, CLASS III	200	LIN. FT.	\$60	\$12,000	\$12,000
18-IN. CONCRETE PIPE, CLASS III	200	LIN. FT.	\$60	\$12,000	\$12,000
15-IN. CONCRETE ENDWALL EW-1	1	EACH	\$600	\$600	\$600
RIPRAP - CLASS I	50	TONS	\$22	\$1,100	\$1,100
15-IN. END SECTION ES-1	1	EACH	\$600	\$600	\$600
18-IN. END SECTION ES-1	1	EACH	\$600	\$600	\$600
24" COMBINATION CURB & GUTTER	2,100	LIN. FT.	\$22	\$46,200	\$46,200
CG-7	10	LIN. FT.	\$20	\$200	\$200
GRAVEL DRIVEWAY	1	LUMP SUM	\$1,000	\$1,000	\$1,000
1.5-IN SM-9.5A	350	S.Y.	\$20	\$7,000	\$7,000
LIGHT DUTY PAVEMENT	1,400	S.Y.	\$10	\$14,000	\$14,000
HEAVY DUTY PAVEMENT	4,100	S.Y.	\$23	\$94,300	\$94,300
12" D.I. WATER LINE	360	LIN. FT.	\$40	\$14,400	\$14,400
6" D.I. WATER LINE	25	LIN. FT.	\$25	\$625	\$625
6" PVC WATER LINE	460	LIN. FT.	\$21	\$9,660	\$9,660
2" TYPE K COPPER WATER LINE	45	LIN. FT.	\$30	\$1,350	\$1,350
1.5" TYPE K COPPER WATER LINE	240	LIN. FT.	\$25	\$6,000	\$6,000
FIRE HYDRANT ASSEMBLIES	2	EACH	\$2,500	\$5,000	\$5,000
FIRE DEPARTMENT CONNECTION	1	EACH	\$2,000	\$2,000	\$2,000
2" GATE VALVE AND VALVE BOX	1	EACH	\$250	\$250	\$250
1" RPZ WITH UNIONS	1	EACH	\$1,000	\$1,000	\$1,000
5/8" IRRIGATION METER	1	EACH	\$1,000	\$1,000	\$1,000
6" SANITARY SEWER	360	LIN. FT.	\$22	\$8,360	\$8,360
8" SANITARY SEWER	740	LIN. FT.	\$25	\$18,500	\$18,500
STANDARD MANHOLE W/FRAME & COVER	3	EACH	\$2,500	\$7,500	\$7,500
LANDSCAPING	1	LUMP SUM	\$30,000	\$30,000	\$30,000
STORMWATER MANAGEMENT (QUANTITY & QUALITY)	1	LUMP SUM	\$83,000	\$83,000	\$83,000
AS-BUILT PLANS (STORM SEWER SYSTEMS)		LUMP SUM	\$1500	\$1500	\$1500
AS-BUILT PLANS (STORMWATER MANAGEMENT)		LUMP SUM	\$1500	\$1500	\$1500
SUB-TOTAL				\$795,000	
25% CONTINGENCY				\$198,750	
ESTIMATED TOTAL					\$993,750
I HEREBY CERTIFY THAT THE FOREGOING OPINION OF COST REFLECTS THE CURRENT IMPROVEMENT COSTS OF THIS PROJECT.					
SIGNED: 			DATE: 11/12/09		
THE ENGINEER HAS NO CONTROL OVER THE COST OF LABOR, MATERIALS, EQUIPMENT, OR OVER THE CONTRACTOR'S METHODS OF DETERMINING PRICES OR OVER COMPETITIVE BIDDING OR MARKET CONDITIONS. OPINIONS OF PROBABLE COSTS REPRESENT ONLY THE ENGINEER'S JUDGMENT AS A DESIGN PROFESSIONAL FAMILIAR WITH THE CONSTRUCTION INDUSTRY. THE ENGINEER CANNOT AND DOES NOT GUARANTEE THAT PROPOSALS, BIDS, OR ACTUAL CONSTRUCTION COSTS WILL NOT VARY FROM ITS OPINIONS OF PROBABLE COSTS.					

## SEWER NOTES

All sanitary sewer facilities shall be installed according to the Western Virginia Water Authority Design and Construction Standards. (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering all manholes after paving. Manhole tops shall be adjusted to grade if necessary.

All existing utilities may not be shown in their exact location. The contractor shall comply with (State Water Works Regulations, Section 12.05.03, where lines cross.)

All trenches in existing or future rights-of-way shall be compacted according to Virginia Department of Transportation standards.

Lines shall be staked prior to construction.

## PRIVATE UTILITIES

Underground utilities installed on private property or in private utility easements and building related storm drains shall be designed and installed per the current edition of the Virginia Uniform Statewide Building Code. Design and installation requirements issued by the Western Virginia Water Authority that meet or exceed the USBC requirements are acceptable for private utilities. All private utilities are to be permitted through and inspected by the Roanoke County Inspections Office. Vaults, valves and other devices installed by or under the control of the Western Virginia Water Authority may not substituted for the code required devices.

SHEET #	SHEET TITLE
CA-001	TITLE SHEET
CV-101	EXISTING CONDITIONS
CV-102	EASEMENTS
CE-101	E&S PLAN
CE-501	E&S DETAIL PLAN
CE-502	E&S NOTES
CS-101	SITE PLAN
CS-102	PAVING PLAN AND FIRE LANES
CS-501	HANDICAP DETAILS
CS-502	CONSTRUCTION DETAILS
CS-503	MOT PLAN
CS-504	ENCLOSURE DETAILS
CG-100	DRAINAGE AREA MAP
CG-101	GRADING PLAN
CG-301	RIGHT TURN LANE CROSS SECTIONS
CG-302	TURN LANE CROSS SECTIONS
CG-303	LEFT TURN LANE CROSS SECTIONS
CG-304	LEFT TURN LANE CROSS SECTIONS
CG-501	STORMWATER DETAILS
CG-502	STORMWATER DETAILS
CG-503	STORMWATER DETAILS
CG-504	RETAINING WALL DETAILS
CU-101	UTILITY PLAN
CU-201	UTILITY PROFILE
CU-501	UTILITY DETAILS
CU-502	UTILITY DETAILS
CP-101	PHOTOMETRIC PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
TS-101	SIGNAL DESIGN AND DETAILS

## SURVEY INFORMATION

Horizontal and vertical control surveys were performed in year: 2006 revised 4/27/2009  
By: *[Signature]* JenningsStephenson P.C.

All vertical elevations must be referenced to the National Geodetic Vertical Datum of 1929 or 1985. All horizontal elevations must be referenced to the North American Datum of 1927 or 1983.

Source of topographic mapping is dated 2006 revised 4/27/2009

Boundary was performed by JenningsStephenson P.C., dated: 2006 revised 4/27/2009

Benchmark Information: As shown on existing conditions sheet (CV-101)

The professional seal and signature certifies the boundary survey and topographic mapping to be accurate and correct.

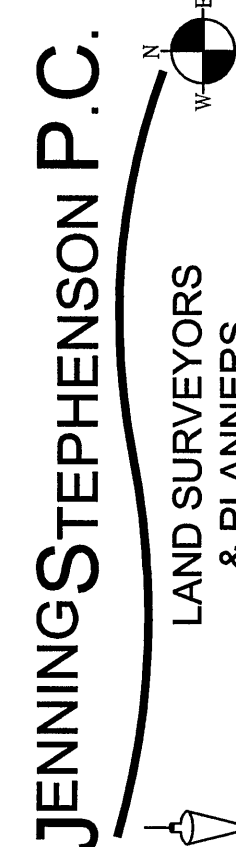
CONSULTANT:



Kimley-Horn  
and Associates, Inc.

1500 FOREST AVENUE, SUITE 115  
RICHMOND, VIRGINIA 23229  
TEL (804) 673-3882  
FAX (804) 673-3980

SURVEYOR:



10160 STAPLES MILL ROAD  
SUITE 103  
GLEN ALLEN, VA 23060  
PHONE - 804-545-6235  
FAX - 804-545-6259

CLIENT:

**CVS/**  
**pharmacy**

OWNER/DEVELOPER:

**THE REBKEE COMPANY**  
15871 CITY VIEW DRIVE, SUITE 300  
MIDLOTHIAN, VA 23113  
PHONE: (804) 419-0740  
FAX: (804) 419-0759

New Facility for

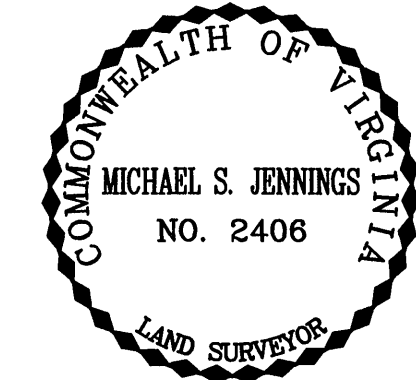
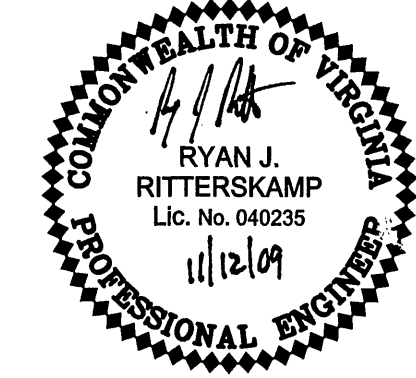
**CVS PHARMACY**  
3909 CHALLENGER AVE.  
Roanoke, Virginia

**SHEET CA-001 OF 30 SHEETS**

DEVELOPMENT PLAN	APPROVED FOR CONSTRUCTION BY ROANOKE COUNTY	Department	Date
		Development Review	11/19/09
		Engineering	11/19/09
		Water & Sewer	11/19/09
		Planning & Zoning	11/19/09

**AS-BUILT**  
**CVS/Challenger**  
**SP-0901638**

NOV 15 2009



11/30/2009  
APPROVE  
CVS Challenger/As-Built