

Drawing name: K:\RIC_QIV\13001 - CVS-Rebkee\106 - Bonsack (Roanoke, VA Rt. 460)\CAD\dwg\SHEET SET\CV-101 EXISTING CONDITIONS.DWG CV-101 Nov 13, 2009 11:57am by: adam.schmid

NOTES

1. OWNERSHIP:
PARCEL 'A' - CVS 7503 VA, LLC, ONE CVS DRIVE, WOONSOCKET, RI 02895

PARCEL 'B' - REBKEE PARTNERS BONSAK, LLC, 15871 CITY VIEW DR., MIDLOTHIAN, VA 23113

2. PARCEL 'A' ON THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 26730272A DATED MARCH 26, 2007.

3. ITEMS #1 & 7 OF THE ABOVE REFERENCED TITLE COMMITMENTS WERE NOT ADDRESSED.

4. ITEMS #2 THRU 5 OF THE ABOVE REFERENCED TITLE COMMITMENTS MAY PERTAIN BUT CANNOT BE PLOTTED.

5. THIS PROPERTY IS IN ZONE 'X' OF THE HUD DEFINED FLOOD HAZARD AREA AS SHOWN ON COMMUNITY - PANEL NUMBER 51161C0028 D DATED 10-15-1993.

6. DURING THE PROCESS OF OUR PHYSICAL IMPROVEMENT SURVEY NO INDICATIONS OF A CEMETERY WERE FOUND. NO FURTHER INSPECTION OF THE PROPERTY HAS BEEN MADE FOR POSSIBLE CEMETERIES.

7. DATUM: HORIZONTAL - NAD 83
VERTICAL - NAVD 88

8. ZONING SETBACKS PER ROANOKE ZONING ORDINANCE FOR R-1 (RESIDENTIAL DISTRICT):
FRONT YARD: 30 FEET
SIDE YARD: 10 FEET
REAR YARD: 25 FEET
HEIGHT: 45 FEET

9. WATER
WESTERN VIRGINIA WATER AUTHORITY
601 SOUTH JEFFERSON STREET
ROANOKE, VA. 24011
JAMIE MORRIS 540-853-1588

CABLE
ADELPHIA
3966 BLUE RIDGE BOULEVARD
BLUE RIDGE, VA 24064
888-683-1000

TELEPHONE
VERIZON
4843 OAKLAND BOULEVARD
ROANOKE, VA 24012
MIKE KING 540-265-7576

POWER
APPALACHIAN POWER
P.O. BOX 2021
ROANOKE, VA 24022-2121
540-354-1433 - WAYNE LIKENS

GAS
ROANOKE GAS COMPANY
519 KIMBALL AVENUE
ROANOKE, VA 24016
540-777-4427

TRAFFIC
VDOT SALEM RESIDENCY
714 BROAD STREET
SALEM, VA 24153
JEFF ECHOLS 540-387-5488

BANK OF BOTETOURT
D.B. 1518 PG. 542
TAX PCL: 50.01-01-02.04-0000
ZONED: C2C
PERIMETER EAST COMMERCE CENTER
PHASE I
P.B. 10 PG. 113

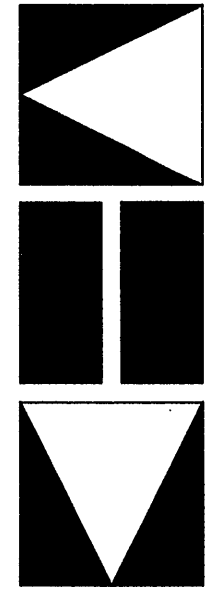
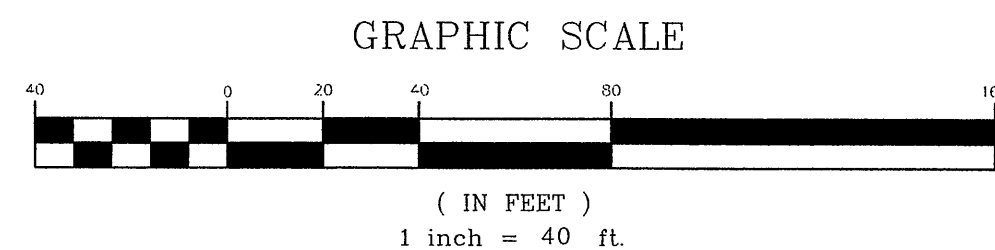
OLD DOMINION FREIGHT LINE, INC.
D.B. 1549 PG. 909
TAX PCL: 50.01-01-02.02-0000
ZONED: I1
PERIMETER EAST COMMERCE CENTER
PHASE I
P.B. 10 PG. 113

F&W PROPERTIES II, INC.
D.B. 1292 PG. 614
TAX PCL: 50.01-01-05.05-0000
ZONED: C2
VALLEY GATEWAY
BUSINESS PARK
TRACT C
P.B. 19 PG. 166

LEGEND

- HANDICAP RAMP
- SANITARY SEWER
- TELEPHONE PEDESTAL
- WATER VALVE
- ELECTRIC BOX
- LIGHT POLE
- POWER POLE
- GUY WIRE
- FIRE HYDRANT
- DECIDUOUS TREE
- OHE - OVERHEAD POWER
- UGT - UNDERGROUND TELEPHONE
- UG - UNDERGROUND GAS
- UGE - UNDERGROUND ELECTRIC
- EDGE OF TREE LINE
- X - FENCE LINE

BASED ON SURVEY PREPARED
BY JENNINGSTEPHENSON, P.C.



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**Kimley-Horn
and Associates, Inc.**

1500 FOREST AVENUE, SUITE 115
RICHMOND, VIRGINIA 23229

CONSULTANT:

KIMLEY-HORN AND ASSOCIATES, INC.
1500 FOREST AVENUE, SUITE 115
RICHMOND, VA 23229
PHONE: (804) 673-3882
FAX: (804) 673-3980

SEAL:

CVS/
pharmacy

13,225 S.F. PROTOTYPE

STORE NUMBER: 7503

INTERSECTION OF
ROUTE 460 & ROUTE 610
ROANOKE, VIRGINIA

OWNER/DEVELOPER:

THE REBKEE COMPANY
15871 CITY VIEW DRIVE, SUITE 300
MIDLOTHIAN, VA 23113
PHONE: (804) 419-0740
FAX: (804) 419-0759

REVISIONS:

LAYOUT COORD: RRP

PLANNING MGR. DBE

DRAWING BY: DHL

DATE: 11/12/09

JOB NUMBER: 113001106

TITLE:

EXISTING CONDITIONS

SHEET NUMBER:

CV-101

COMMENTS: