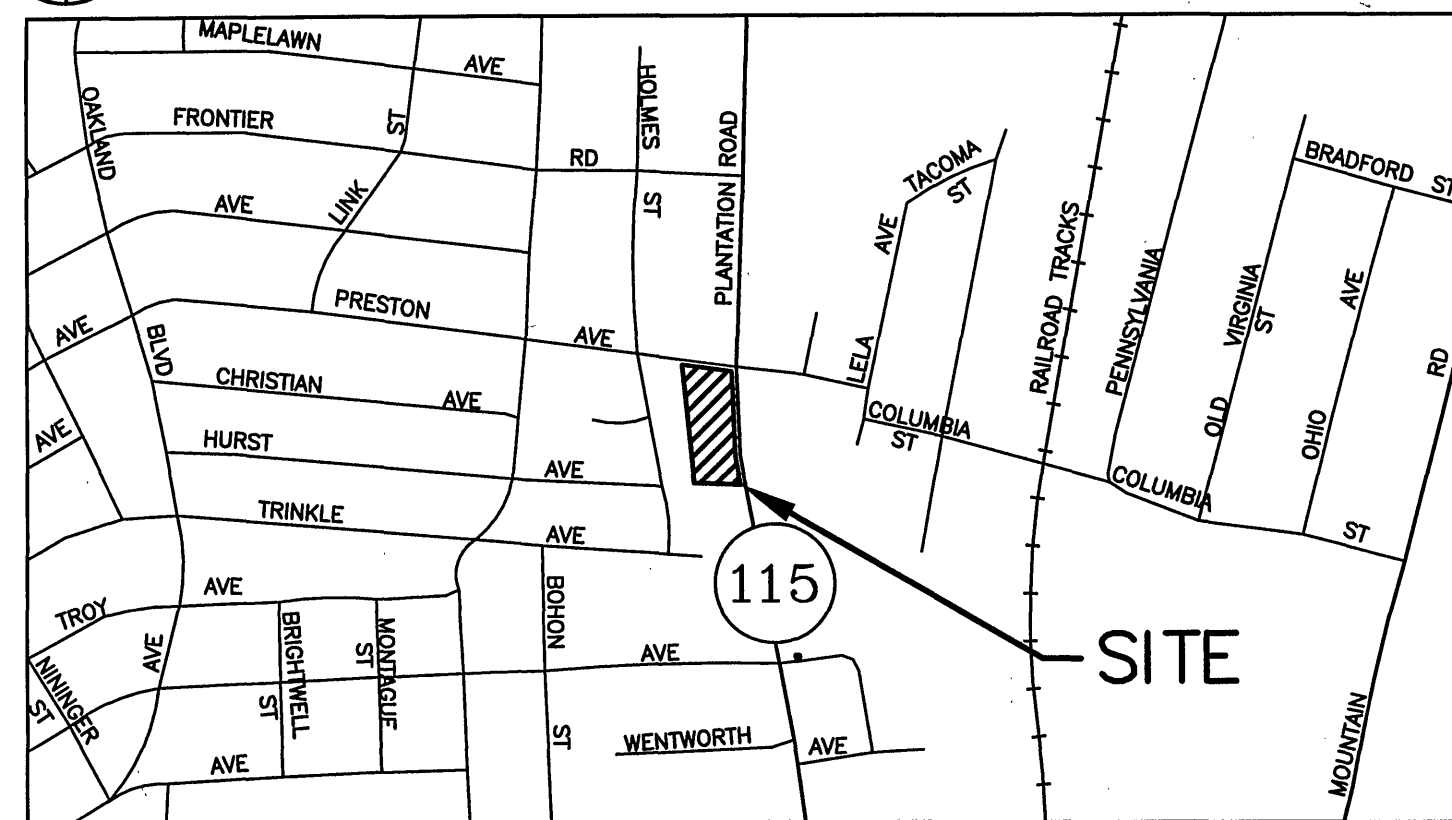


VICINITY MAP

NTS



SITE

ENGINEERS NOTES

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY PERFORMED BY BALZER AND ASSOCIATES, INC., DATED 2009 (ON-SITE) AND CITY OF ROANOKE AERIAL MAPPING, DATED APRIL, 1996 (OFF-SITE).

LEGEND

	CONCRETE		PAVEMENT REPLACEMENT		PAVERS
	ASPHALT PAVING		GRAVEL / RIPRAP		WETLAND AREA
---	ADJOINER PROPERTY LINE	---	ADJOINER PROPERTY LINE	---	ADJOINER PROPERTY LINE
---	SITE PROPERTY LINE	---	SITE PROPERTY LINE	---	SITE PROPERTY LINE
---	CENTERLINE OF ROADS	---	CENTERLINE OF ROADS	---	CENTERLINE OF ROADS
OHU	EXIST. OVERHEAD CABLES	OHU	EXIST. OVERHEAD CABLES	OHU	EXIST. OVERHEAD CABLES
==8" w==	EXIST. WATER LINE	==8" w==	EXIST. WATER LINE	==8" w==	EXIST. WATER LINE
==8" ss==	EXIST. SANITARY SEWER	==8" ss==	EXIST. SANITARY SEWER	==8" ss==	EXIST. SANITARY SEWER
==18" cp==	EXIST. STORM SEWER	==18" cp==	EXIST. STORM SEWER	==18" cp==	EXIST. STORM SEWER
---	EXIST. TREELINE	---	EXIST. TREELINE	---	EXIST. TREELINE
---	EXIST. EDGE OF PAVEMENT	---	EXIST. EDGE OF PAVEMENT	---	EXIST. EDGE OF PAVEMENT
---	WETLAND BOUNDARY	---	WETLAND BOUNDARY	---	WETLAND BOUNDARY
348.55 x	EXIST. SPOT ELEVATION	348.55 x	EXIST. SPOT ELEVATION	348.55 x	EXIST. SPOT ELEVATION
---	EXIST. INTERMEDIATE CONTOURS	---	EXIST. INTERMEDIATE CONTOURS	---	EXIST. INTERMEDIATE CONTOURS
---	EXIST. INDEX CONTOURS	---	EXIST. INDEX CONTOURS	---	EXIST. INDEX CONTOURS
---	EXIST. POWER POLE	---	EXIST. POWER POLE	---	EXIST. POWER POLE
---	EXIST. TELEPHONE	---	EXIST. TELEPHONE	---	EXIST. TELEPHONE
---	EXIST. LIGHT POLE	---	EXIST. LIGHT POLE	---	EXIST. LIGHT POLE
---	EXIST. FEATURES TO BE REMOVED	---	EXIST. FEATURES TO BE REMOVED	---	EXIST. FEATURES TO BE REMOVED
---	EXIST. FENCE	---	EXIST. FENCE	---	EXIST. FENCE

ABBREVIATIONS

AH/FH	ARROW HEAD TOP OF FIRE HYDRANT	EW	ENDWALL	SAN	SANITARY
APPROX	APPROXIMATE	EXIST	EXISTING	SBL	SOUTH BOUND LANE
ASPH	ASPHALT	FDN	FOUNDATION	SD	STORM DRAIN
BC	BOTTOM OF CURB	FF	FINISHED FLOOR	SECT	SECTION
BIT	BITUMINOUS	FG	FINISH GRADE	SE	SLOPE EASEMENT
BLDG	BUILDING	HOA	HOMEOWNERS ASSOCIATION	SS	SANITARY SEWER
BLK	BLACK	HPT	HIGH POINT	SSE	SANITARY SEWER EASEMENT
BM	BENCHMARK	INTX	INTERSECTION	STA	STATION
BW	BOTTOM OF WALL	INV	INVERT	STD	STANDARD
CB	CINDER BLOCK	IP	IRON PIN	STO	STORAGE
C&G	CURB & GUTTER	LT	LEFT	SYS	SIDE YARD SETBACK
CMP	CORRUGATED METAL PIPE	MH	MANHOLE	TBM	TEMPORARY BENCHMARK
CONC	CONCRETE	MIN	MINIMUM	TBR	TO BE REMOVED
COR	CORNER	MBL	MINIMUM BUILDING LINE	TC	TOP OF CURB
DBL	DOUBLE	NBL	MONUMENT	TEL	TELEPHONE
DEFL	DEFLECTION	PROF	PROPOSED	TRANS	TRANSFORMER
DI	DROP INLET	PUE	PUBLIC UTILITY EASEMENT	TW	TOP OF WALL
DIA	DIAMETER	PVMT	PAVEMENT	TYP	TYPICAL
DE	DRAINAGE EASEMENT	R	RADIUS	VDOT	VERGINIA DEPARTMENT OF TRANSPORTATION
ELEC	ELECTRIC	RT	RIGHT	VERT	VERTICAL
ELEV	ELEVATION	R.O.W.	RIGHT OF WAY	WBL	WEST BOUND LANE
ENTR	ENTRANCE	REQD	REQUIRED	WWVA	WESTERN VIRGINIA WATER AUTHORITY
EP	EDGE OF PAVEMENT	RR	RAILROAD	YD	YARD
		RYS	REAR YARD SETBACK		

CVS/

pharmacy

AS BUILTS FOR
CVS STORE #7577
David W. Jewell
2-9-12

STORE #7577
PLANTATION RD. & PRESTON AVE.
ROANOKE, VIRGINIA

SHEET INDEX

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C-9	STRIPING PLAN
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WESTERN VIRGINIA WATER AUTHORITY NOTES
AVAILABILITY No. 10-105

GENERAL NOTES:
A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE WESTERN VIRGINIA WATER AUTHORITY TO BE HELD AT LEAST ONE (1) DAY PRIOR TO ANY CONSTRUCTION OF THE APPROVED WATER AND SANITARY SEWER FACILITIES.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

ALL SANITARY SEWER AND WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS, MANHOLES, ETC. AFTER PAVING AND ADJUSTING TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH THE STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT-OF-WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL REFER TO THE WESTERN VIRGINIA WATER AUTHORITY STANDARD WATER AND SEWER REGULATIONS FOR CONSTRUCTION DETAILS AND INSTALLATION METHODS AS REQUIRED TO COMPLETE THE PROPOSED UTILITY FACILITIES AS INDICATED BY THESE DRAWINGS.

FIELD CORRECTIONS SHALL BE APPROVED BY THE WVWA ENGINEERING DIVISION PRIOR TO SUCH CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS PRIOR TO SUBSTANTIAL COMPLETION OF ANY NEW PUBLIC EXTENSIONS.

WATER NOTES:
WATER MAINS SHALL BE MINIMUM CLASS 350 DUCTILE IRON IN ACCORDANCE TO AWWA C151 OR DR-14 PVC IN ACCORDANCE WITH AWWA C-900.

WATER LATERALS FROM THE METER TO THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC WATER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

SEWER NOTES:
COMMERCIAL SANITARY SEWER LATERAL SHALL BE MINIMUM 6" PIPE INSTALLED AT SLOPES AS SHOWN ON THE PLAN.

THE LATERALS AND REQUIRED FITTINGS LOCATED WITHIN A PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT SHALL BE OF THE SAME TYPE OF MATERIAL AS THE MAINLINE SEWER PIPE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC SEWER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

ALL SANITARY SEWER PIPING SHALL BE PVC (POLYVINYL CHLORIDE) MANUFACTURED IN ACCORDANCE WITH ASTM DESIGNATION 3034-77 (SDR 35) UNLESS OTHERWISE NOTED ON THE PLANS/PROFILES.

ALL MANHOLE FRAMES AND COVERS SHALL BE WATERTIGHT AND ALL COVERS SHALL BE BOLT-DOWN MANHOLE COVERS (SEE DETAIL S-05 AND S-06) WHERE APPLICABLE.

SITE INFORMATION

SITE ADDRESS: 4126 PLANTATION ROAD, NE
ROANOKE, VIRGINIA

OWNER: WALTER T. & MELVA J. HELM
1385 CRUTCHFIELD ST. NW
ROANOKE, VA 24019

DEVELOPER: THE REBKEE COMPANY
15871 CITY VIEW DRIVE, SUITE 300
ROANOKE, VIRGINIA 24018
Phone: (804) 419-0740
Contact: DAVID TODD

AGENT: BALZER AND ASSOCIATES, INC.
1208 CORPORATE CIRCLE
ROANOKE, VIRGINIA 24018
Phone: (804) 772-9580
Contact: CHRIS BURNS

USE: RETAIL PHARMACY WITH DRIVE THRU
(RETAIL SALES ESTABLISHMENT, NOT OTHERWISE LISTED IN ZONING TABLE)

ZONING: CN, COMMERCIAL NEIGHBORHOOD

TAX PARCEL NO.: 3190325

SITE AREA: 2.07 ACRES

DISTURBED AREA: APPROX. 2.2 ACRES

WATER: PUBLIC

SEWER: PUBLIC

BUILDING AREA/NO. OF STORIES: 11,945 SF / 1-STORY

PARKING: SEE PARKING SUMMARY SHEET C-5

SETBACKS: FRONT: 10' MAXIMUM
SIDE: NONE, 10' BUFFER ADJACENT TO RESIDENTIAL
REAR: NONE, 10' BUFFER ADJACENT TO RESIDENTIAL

MAX. FLOOR AREA RATIO ALLOWED: NONE

MAX. LOT COVERAGE ALLOWED: 100%

LOT COVERAGE PROVIDED: APPROX. 61%

MAXIMUM BUILDING HEIGHT ALLOWED: 45'

PROPOSED BUILDING HEIGHT: APPROX. 20'

ZONING NOTES:
1. PER BOARD OF ZONING APPEALS, APPEAL NO. 12-09S-A, A SPECIAL EXCEPTION HAS BEEN GRANTED TO ALLOW A DRIVE-THROUGH FACILITY FOR A PHARMACY ON THIS SITE WITH THE FOLLOWING CONDITION: "THAT THE DRIVE-THROUGH FACILITY ON THE SUBJECT PROPERTY BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE SITE PLAN SUBMITTED WITH THE APPLICATION, PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC., ENTITLED 'CVS/PHARMACY, 11,945 S.F. PROTOTYPE, STORE NUMBER: #7577, INTERSECTION OF PRESTON AVE. & PLANTATION RD., ROANOKE, VIRGINIA,' DATED OCTOBER 12, 2009.
2. PER BOARD OF ZONING APPEALS, APPEAL NO. 6-10S-A, A SPECIAL EXCEPTION HAS BEEN GRANTED TO ALLOW 30' MAXIMUM DRIVEWAY WIDTHS ON THIS SITE.

STANDARD CITY OF ROANOKE
CONSTRUCTION PROCEDURE
REQUIREMENTS

NOTICE TO ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS:
FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

RIGHT-OF-WAY EXCAVATION PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

LAND DISTURBANCE PERMIT: AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.

PLANS AND PERMITS: A COPY OF THE PLANS AS APPROVED BY THE CITY OF ROANOKE (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE MADE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE, SIZE AND COMPOSITION OF THE CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.

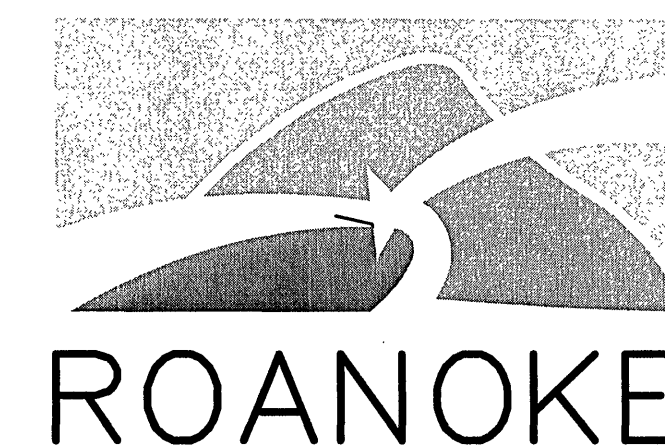
STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.

APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

FINAL ACCEPTANCE/CITY: THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.



City of Roanoke
Planning Building and Development
DEVELOPMENT PLAN APPROVED

Agent, Planning Commission: [Signature] Date: 7/12/2010

Development Engineer: [Signature] 7-9-10

Zoning Administrator: [Signature] 7/9/2010

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and approved prior to construction.

CITY OF ROANOKE APPROVAL BLOCK



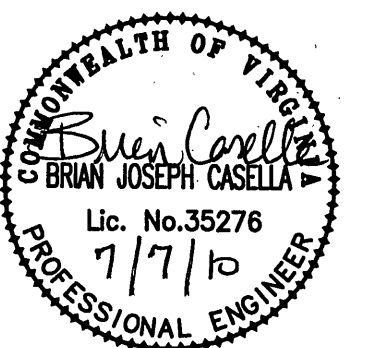
www.balzer.cc

New River Valley
Richmond
Roanoke
Shenandoah Valley

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
SITE DEVELOPMENT ENGINEERING
LAND USE PLANNING & ZONING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ARCHITECTURE
STRUCTURAL ENGINEERING
GEOTECHNICAL ENGINEERING
TRANSPORTATION ENGINEERING
ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

1208 Corporate Circle
Roanoke, VA 24018
540-772-9580
FAX 540-772-8050



CVS STORE #7577

COVER

CITY OF ROANOKE, VIRGINIA

DRAWN BY: CPB
DESIGNED BY: CPB
CHECKED BY: BJC
DATE: 03/17/2010

REVISIONS:
04/05/2010

SHEET NO.

C-1

JOB NO. R0900153.00