

CAMBRIA SUITES HOTEL

ROANOKE, VIRGINIA

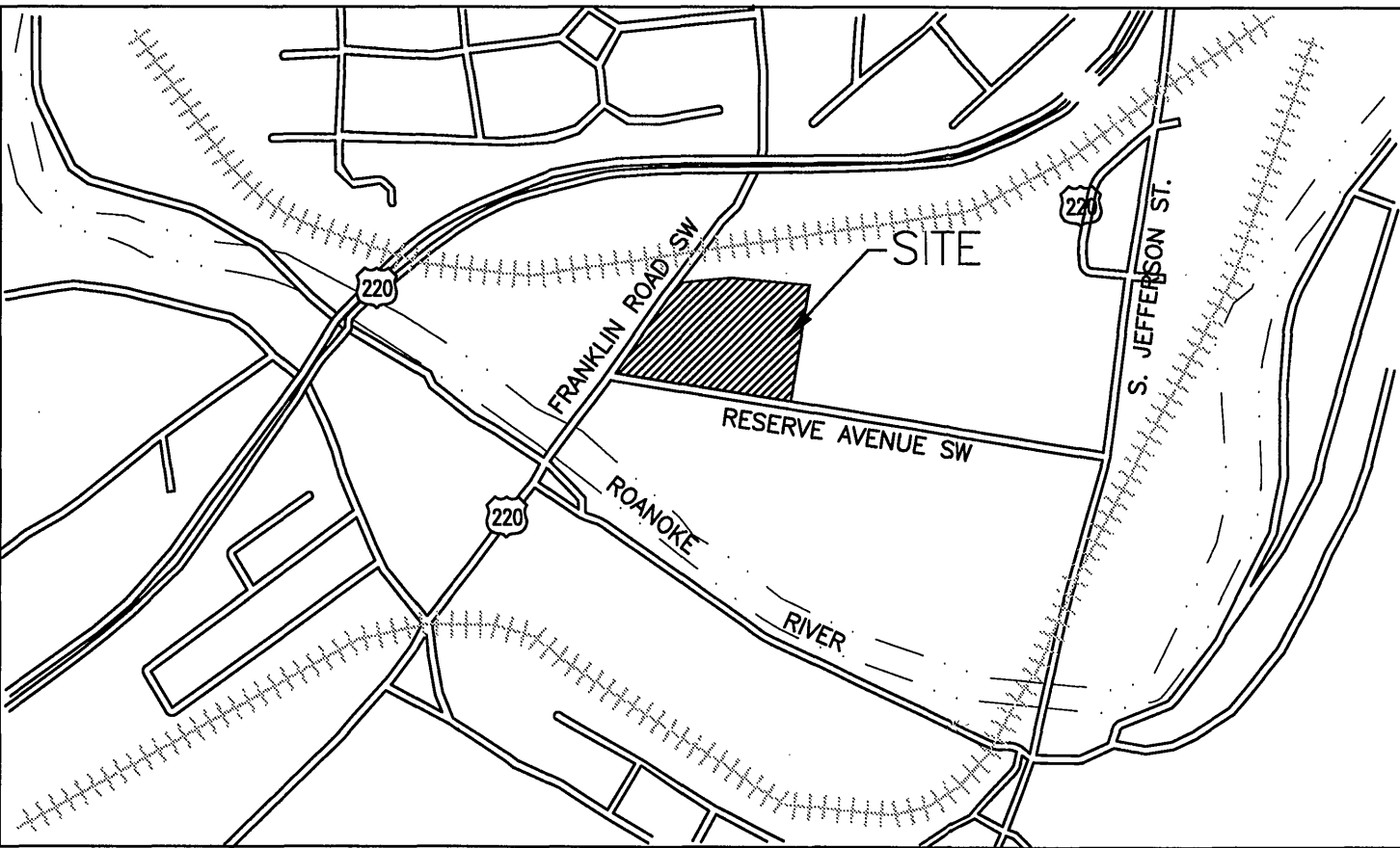
City of Roanoke
Planning Building and Development

APPROVED

George P. Woodard 1-19-10
Development Reviewer Date

LEGEND:

EXISTING	ITEM	PROPOSED
8" w	WATER LINE	8" w
8" ss	SANITARY SEWER	
8"	STORM DRAIN	
g	GAS LINE	g
ugt	U/G TELEPHONE	UGT
uge	U/G ELECTRIC	UGE
oht	O/H TELEPHONE	OHT
ohp	O/H POWER	OHP
rw	RIGHT-OF-WAY LINE	rw
pl	PROPERTY LINE	pl
	SETBACK LINE	
	PERM. UTILITY EASEMENT	
	BENCHMARK	
wm	WATER METER	wm
	VALVE	
	FIRE HYDRANT	
	REDUCER	
c.o.	CLEANOUT	c.o.
gm	GAS METER	gm
	WATER MANHOLE	
	SANITARY SEWER MANHOLE	
	STORM MANHOLE	
	DROP INLET #1	
	DROP INLET #7	
	POWER POLE	
	TELEPHONE OR TELEGRAPH POLE	
	SIGN	
	LIGHT POLE	
	RAILROAD	N/A
	FENCE	X
	DECIDUOUS SHRUB	
	DECIDUOUS TREE	
N/A	EVERGREEN SHRUB	
N/A	EVERGREEN TREE	
	PROPERTY CORNER	N/A
	CONTOUR LINE - INDEX	
	CONTOUR LINE - INTERMEDIATE	
	RIVER OR STREAM	N/A
	DITCH OR SWALE	
N/A	LIMITS OF DISTURBANCE	
	EXISTING GRAVEL AREAS	N/A
N/A	PARKING LOT PAVEMENT	
N/A	HEAVY DUTY PAVEMENT	
	EXISTING SIDEWALK	N/A
N/A	PROPOSED SIDEWALK	
N/A	CONCRETE	
N/A	DEMOLITION AREAS	
N/A	FIRE LANE HATCH	
N/A	SANITARY MANHOLE LABEL	A
N/A	STORM SEWER LABEL	B



VICINITY MAP
1" = 800'

SITE INFORMATION:

OWNER/ DEVELOPER:	THE LILLEHAMMER GROUP, LLC 414 NORTH MAIN STREET CAMBRIDGE, WISCONSIN 53523 (262) 245-6968
ENGINEER:	ANDERSON & ASSOCIATES, INC. 100 ARDMORE STREET BLACKSBURG, VA 24060 (540) 552-5592
ARCHITECT:	TDI ASSOCIATES, INC. N8 W22350 Johnson Dr. Suite B4 Waukesha WI 53186 (262) 437-0400
TAX PARCEL:	# 1032205
ZONING:	INPUD: (INSTITUTIONAL PLANNED UNIT DEVELOPMENT DISTRICT) ZONED AE 51161C0048 10/15/1993 FORMERLY WAREHOUSES, CURRENTLY VACANT
FLOOD ZONING:	
MAP PANEL#:	
MAP DATE:	
PRESENT USE:	
PROPOSED USE:	HOTEL / COMMERCIAL
TOTAL ACREAGE:	2.7 ACRES
DISTURBED ACREAGE:	4.36 ACRES
EXISTING BUILDING S.F.:	N/A
PROPOSED BUILDING HEIGHT:	58'- 4"
FINISHED FLOOR ELEV:	+939' WITH PARKING GARAGE BELOW AT +929'
FLOOR AREA RATIO:	0.90
IMPERVIOUS SURFACE RATIO:	Total site area: 118 786 Total impervious area: 75 603 SF (64%) Building footprint: 22 917 (19%) Sidewalk/ pavement: 52 928 (45%) Landscaping: 42 941 (36%)
TOTAL BUILDING S.F.	106,510 S.F.
REQUIRED PARKING:	MIN: 108 MAX: 152 130 SPACES
PARKING PROVIDED:	5 SPACES (PER 101-150 TOTAL SPACES)
REQUIRED HC PARKING:	5 SPACES (IN PARKING GARAGE)+1 VAN
HANDICAP PARKING PROVIDED:	ACCESSIBLE (IN OUTSIDE LOT)=6 SPACES

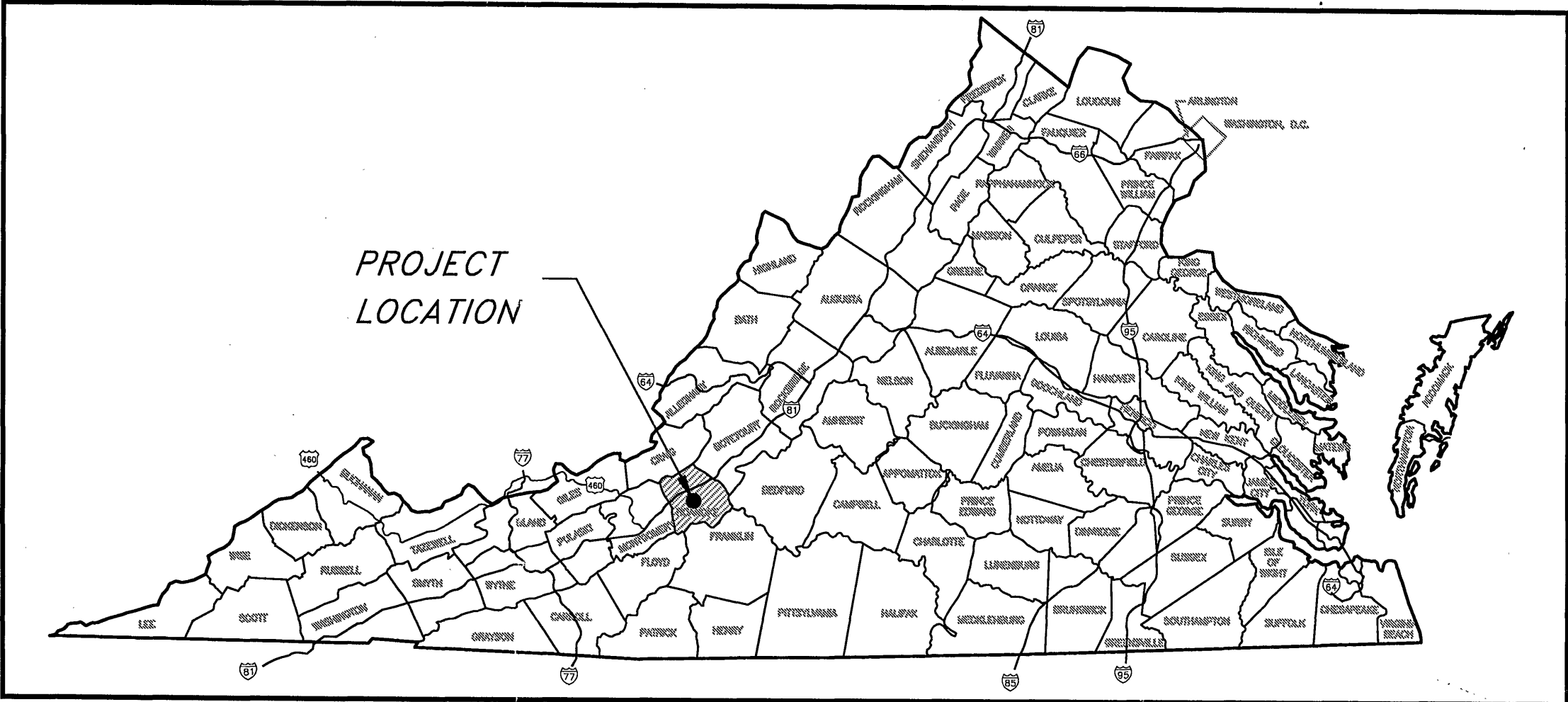
APPROVAL

AGENT TO THE PLANNING COMMISSION	DATE
ZONING ADMINISTRATOR	DATE
DEVELOPMENT ENGINEER	DATE

SHEET INDEX:

SHEET #	DESCRIPTION
1	TITLE SHEET
2	GENERAL NOTES
3	EXISTING CONDITIONS PLAN
4	DEMOLITION PLAN
5	SITE LAYOUT & DIMENSION PLAN
6	GRADING & DRAINAGE PLAN
7	STORM PROFILES
8	UTILITY PLAN
9	UTILITY PROFILES
10	DETAILS 1
11	DETAILS 2
12	EROSION & SEDIMENT CONTROL NARRATIVE
13	EROSION & SEDIMENT CONTROL PLAN
14	EROSION & SEDIMENT CONTROL DETAILS
L1	LANDSCAPE PLAN 1
L2	LANDSCAPE PLAN 2
L3	SITE LIGHTING FIXTURE INFORMATION
L4	SITE LIGHTING FIXTURE INFORMATION
E1	SIGHT LIGHTING, SCHEDULE, & DETAILS

ABBREVIATIONS:
APPROX=APPROXIMATE
ARCH=ARCHITECT
BC=BACK OF CURB
CONC.=CONCRETE
C.O.=CLEANOUT
D.I.=DROP INLET
DI=DUCTILE IRON
ELEV.=ELEVATIONS
EX., EXIST.=EXISTING
FH=FIREF HYDRANT
FF=FINISHED FLOOR
HDPE=HIGH DENSITY POLYETHYLENE
INV=INVERT
MH=MANHOLE
MIN=MINIMUM
NFPA=NATIONAL FIRE PROTECTION AGENCY
N.I.C.=NOT IN CONTRACT
OHP= OVERHEAD POWER
PSI=POUNDS PER SQUARE INCH
PVC=POLYVINYL CHLORIDE
RCP=REINFORCED CONCRETE PIPE
ROW=RIGHT OF WAY
SSM=SOIL STABILIZATION MATTING
STD=STANDARD
TC=TOP OF CURB
TYP=TYPICAL
UGE=UNDERGROUND ELECTRIC
UGT=UNDERGROUND TELEPHONE
WWF=WOVEN WIRE FABRIC
COMM.=COMMUNICATION
TELE.=TELEPHONE
ELEC.=ELECTRIC



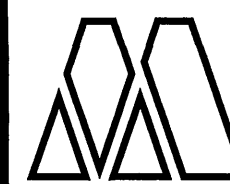
LOCATION MAP
N.T.S.

Construction Procedure Requirements

1. City Inspections - To insure the coordination of timely and proper inspections, a pre-construction conference shall be initiated by the applicant, building, etc, with the Development Inspector. Call (540) 853-1730 to arrange a conference at least three (3) days prior to anticipated construction.
2. Right-of-Way Excavation Permit - Prior to the commencement of any digging, alteration or construction within the public right-of-way (streets, alleys, public easements), a right-of-way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.
3. Land Disturbance Permit - An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.
4. Plans and Permits - A copy of the plans as approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.
5. Location of Utilities - The contractor shall verify the location of all existing utilities prior to the commencement of any construction.
6. Construction Entrance - The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of construction entrance shall be as shown on the plans.
7. Streets to Remain Clean - It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or any type of construction materials or litter at all times.
8. Barricades/Ditches - The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.
9. Sewer and Pavement Replacement - Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.
10. Approved Plans/Construction Changes - Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.
11. Final Acceptance/City - The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a final correct set of as-built plans prior to final acceptance by the City.

REVISIONS			
NUMBER	DATE	SHEET	DESCRIPTION
1	8/17/2006	1, 2, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13	ROANOKE CITY REVIEW
2	9/22/2006	1, 2, 5, 6, 7, 8, 9, 10, 11, 12, 13	ROANOKE CITY REVIEW
3	10/9/2006	1, 5, 8, 10	ROANOKE CITY REVIEW
4	11/7/2008	1, 5, 6, 7, 8, 9, 13	PARKING LOT LAYOUT, STORM SEWER, SANITARY SEWER
5	11/30/2009	1, 2, 5, 6, 6A, 7, 8, 9, 12, 13	ENTRANCE ROADWAY, STORM SEWER, SANITARY SEWER, AND ROANOKE CITY REVIEW
6	12/22/2009	1, 5	ROANOKE CITY REVIEW

ADDENDA			
NUMBER	DATE	SHEET	DESCRIPTION
1	12/12/2006	1, 4, 5, 6, 7, 13,	FFE CHANGED FROM 939.0 TO 939.5
2	2/16/2007	1, 6, 7, 13	RE-ALIGN OFF-SITE STORM PIPE (FOR ROANOKE)
3	2/13/2008	1, 5, 6,	RELOCATE HANDICAP PARKING; ADD A FLAGPOLE



ANDERSON & ASSOCIATES, INC.
Professional Design Services
www.andassoc.com
VA - NC - TN - WV

100 Ardmore St.
Blacksburg, Va. 24060
540-552-5592

J.N. 24822

12 JUL 06

SHEET 1 OF 19

9 OCT 06 - APPROVED SITE PLAN
22 DEC 09 - REVISION #6

APPROVED
JAN 19 2010

AS-BUILTS 3.1.10 K. Winslow

24822 - 001