

CAMPBELL AVENUE
PARKING DECK
ROANOKE, VIRGINIA

CN NO: 2426.2
DATE: 6/15/07
DESIGN: JJB
DRAWN: JAW
REVIEW: TAR
REVISIONS
No. Date Description By

TITLE SHEET

G1001

SHEET 1 OF 11

as-Built
2-13-08

RECEIVED

JUN 15 2007

CITY OF ROANOKE
PLANNING BUILDING AND DEVELOPMENT

CAMPBELL AVENUE PARKING DECK ROANOKE, VA

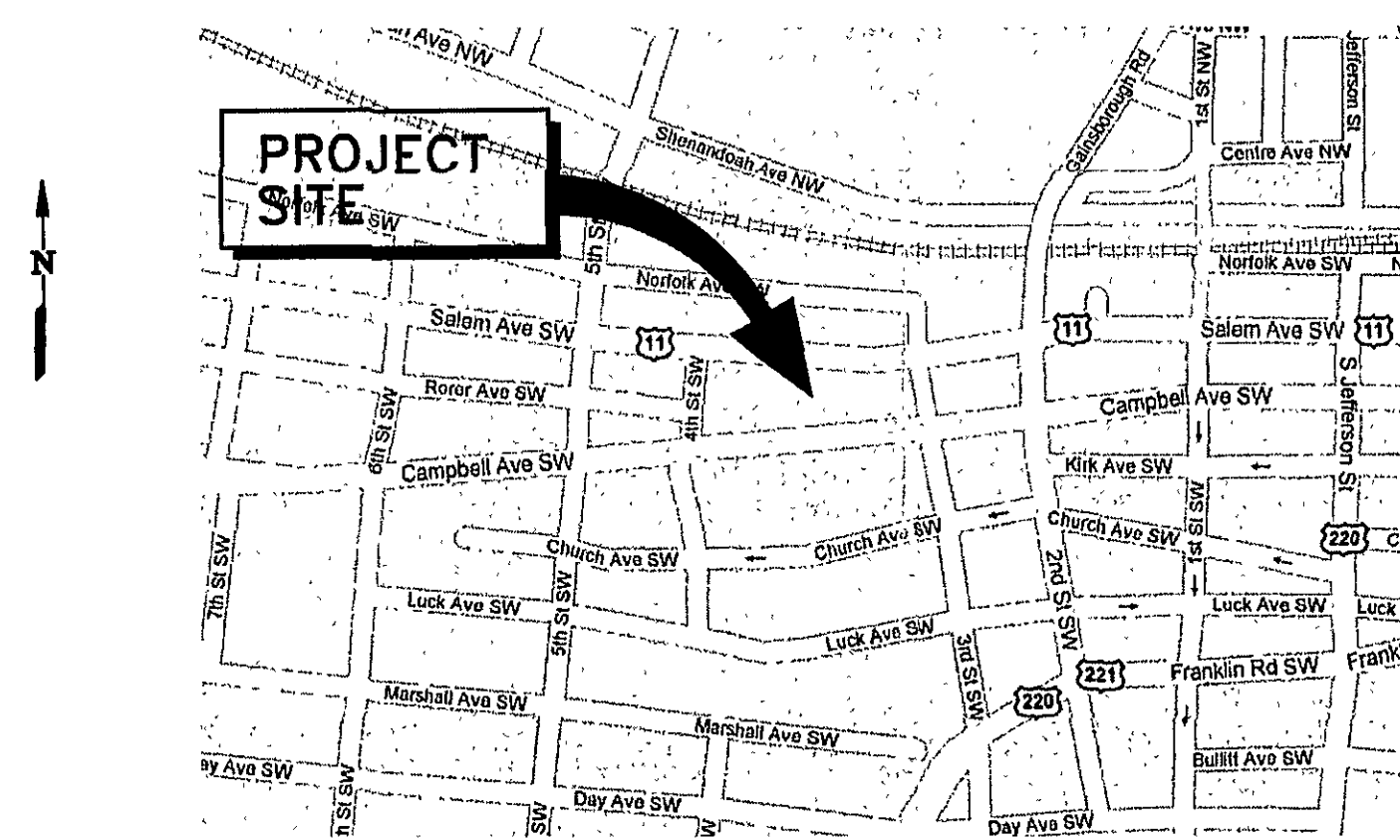
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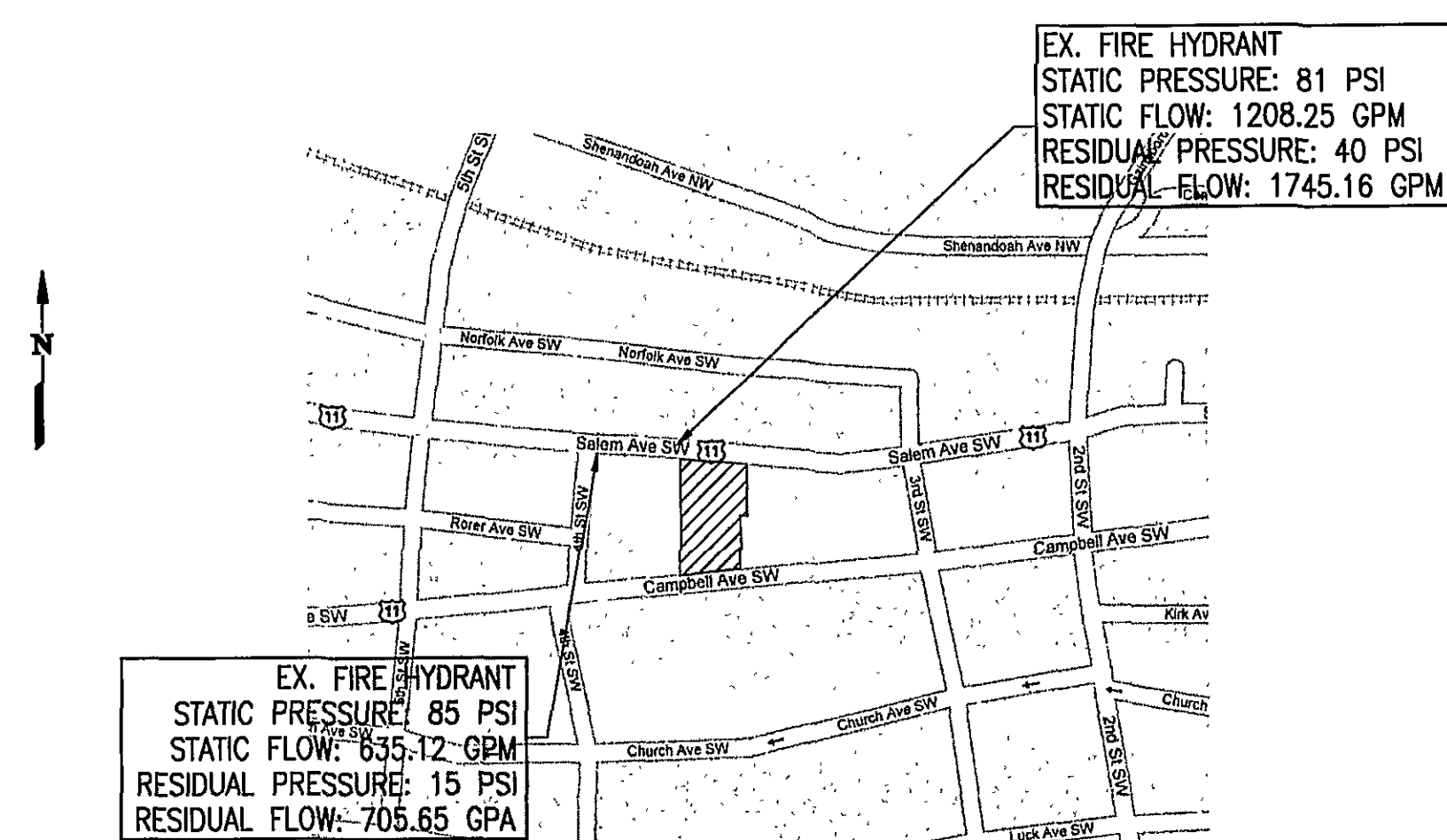
PROJECT INFORMATION

PROPERTY TAX #:	1010829, 1010811, 1010810, 1010809 (CONSOLIDATED PLAT RECORDED AS MAP BOOK 1, PG 3165)	
CONTRACTOR INFORMATION:	ENGINEER:	STRUCTURAL ENGINEER:
DONLEY'S 1508 EAST PARHAM ROAD RICHMOND, VA 23228 (804) 264-7804 (PHONE) (804) 264-7806 (FAX)	CLARK NEXSEN 6160 KEMPSVILLE CIRCLE SUITE 200A NORFOLK, VA 23502 (757) 455-5800 (PHONE) (757) 455-5638 (FAX)	DESMAN ASSOCIATES 8614 WESTWOOD CTR. DR. SUITE 300 VIENNA, VA 22182 (703) 448-1190 (PHONE)
TOTAL SITE AREA:	0.87 AC	
TOTAL DISTURBED AREA:	0.87 AC	
ZONING:		
CURRENT:		D (DOWNTOWN DISTRICT)
PROPOSED USE:		PARKING GARAGE
SETBACKS:		
FRONT YARD:	0' (MIN)	
SIDE YARD:	0'	
REAR YARD:	0'	10' (MAX)
FIRE FLOW DEMAND:	1250 GPM	
FLOOR AREA RATIO:	2.56 (0.64 = FOOTPRINT TO SITE FLOOR AREA RATIO)	

LOCATION MAP



SITE PLAN



CITY CONSTRUCTION NOTES

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

1. A RIGHT-OF-WAY EXCAVATION PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR RIGHT-OF-WAY EXCAVATION PERMIT CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

2. LAND DISTURBANCE PERMIT - AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.

3. PLANS AND PERMITS - A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

4. LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

5. CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.

6. STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

7. BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

8. SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY

9. APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

10. FINAL ACCEPTANCE/CITY - THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

NOTE: THE ABOVE CITY CONSTRUCTION NOTES SHOULD BE SHOWN ON THE FRONT OR COVER SHEET OF THE DEVELOPMENT OR CONSTRUCTION (CONSOLIDATED PLAT RECORDED

DEVELOPMENT PLAN APPROVED

Agent, Planning Commission: *George P. Newmyer* 6-20-07
Development Engineer: *George P. Newmyer* 6-19-07
Zoning Administrator: *Nancy C. Swadlow* 6-20-07

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.