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## SURVEY NOTES

1. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE COMMUNITY PANEL #510130 0042 F, MAP #51161C0042 F, DATED FEB. 4, 2005 AND COMMUNITY PANEL #510130 0046 D, MAP #51161C0046 D, FLOOD ZONE "X", DATED OCT. 15, 1993.
2. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE PROPERTY THAT ARE NOT SHOWN HEREON.
3. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
4. PROPERTY CORNERS WERE FOUND OR SET AS INDICATED HEREON.
5. ELEVATIONS ARE BASED ON NGVD 29 VERTICAL DATUM.
6. THIS PLAT DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITIES. STORM DRAIN STRUCTURES & LINES, SANITARY SEWER LINES, WATER, TELEPHONE, GAS AND ALL OTHER SURFACE UTILITIES WERE FIELD LOCATED. ALL UNDERGROUND UTILITIES SHOWN WERE ESTABLISHED USING ABOVE GROUND STRUCTURES, AVAILABLE UTILITY MAPS AND MARKINGS BY MISS UTILITY (TICKET #B603001732). ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.
7. THE SUBJECT PROPERTY IS ZONED D (DOWNTOWN) PER THE ROANOKE CITY ZONING ORDINANCE.
8. LEGAL REFERENCE: TAX #1010809, #1010810, #1010811 & TAX #1010829 CITY OF ROANOKE - INSTRUMENT #040014522 & #050017893

## GENERAL NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CURRENT SPECIFICATIONS AND STANDARDS OF THE VIRGINIA CITY OF ROANOKE AND ANY OTHER APPLICABLE CODE, UNLESS OTHERWISE SPECIFIED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING WITH MATCHING MATERIALS ANY PAVEMENT, DRIVEWAYS, WALKS, CURBS, LANDSCAPING, ETC., THAT MAY BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
3. WHEN MATERIALS WHICH ARE UNSUITABLE FOR FOUNDATIONS, SUBGRADES, OR PAVEMENT PURPOSES OCCUR WITHIN THE LIMITS OF BUILDING OR PAVEMENT CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE SUCH MATERIAL BELOW THE SUBGRADE SHOWN ON PLANS AND THE AREAS SO EXCAVATED SHALL BE BACKFILLED WITH APPROVED SUITABLE MATERIALS.
4. TOPSOIL, SEED AND FERTILIZE ALL AREAS WITHIN THE PROJECT LIMITS NOT OCCUPIED BY STRUCTURES, PAVEMENT, OR SIDEWALKS, AND NOT DESIGNATED TO BE SODDED OR LANDSCAPED.
5. NO ROADWAY LANE CLOSURES SHALL BE PERFORMED WITHOUT WRITTEN PERMIT FROM THE CITY OF ROANOKE. ALL TRAFFIC CONTROL SHALL COMPLY WITH M.U.T.C.D. AS REQUIRED.

## GRADING AND DRAINAGE NOTES

1. PROVIDE TEMPORARY DRAINAGE AS REQUIRED DURING CONSTRUCTION.
2. ALL SLOPES SHALL NOT EXCEED A MAXIMUM SLOPE OF 1:1, H.V. TEMPORARY SEEDING OR STABILIZATION WILL BE REQUIRED WITHIN 7 DAYS OF CONSTRUCTION OF THE SLOPES.
3. PIPE LENGTHS SHOWN FOR STORM DRAINAGE ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
4. TRANSITIONS IN GRADING SHALL BE SMOOTH ROUND CURVES.

## PAVEMENT AND CONCRETE NOTES

1. ALL CONCRETE TO BE CLASS "A3" AIR ENTRAINED (3000 P.S.I.) IN ACCORDANCE WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS.
2. CURB AND GUTTER SHALL BE CONSTRUCTED IN SECTIONS OF UNIFORM LENGTHS OF APPROXIMATELY 10 FEET, AS NECESSARY TO FORM CLOSURES. EXPANSION JOINTS SHALL BE FORMED AT MAXIMUM INTERVALS OF 50 FT USING 1/2 INCH PRE MOLDED BITUMINOUS FIBER JOINT FILLER. NO SECTIONS SHALL BE LESS THAN 6 FEET.
3. ALL DIMENSIONS TO CURBS ARE TO FACE OF CURB.
4. ALL SIDEWALKS SHALL HAVE TRANSVERSE DUMMY JOINTS AT 6 FOOT INTERVALS; 1/2 INCH TRANSVERSE EXPANSION JOINTS SPACES AT 30-FOOT INTERVALS. TRANSVERSE CONTROL JOINTS SHALL BE 1/4" DEEP BY 1/8 INCH WIDE. EXPANSION JOINTS ARE TO BE CONSTRUCTED USING EXPANSION MATERIAL PLACED 1/4 INCH BELOW FINISHED SURFACE. ROUND EDGES OF CONCRETE WITH 1/8 INCH RADIUS.
5. EXPANSION JOINTS IN CONCRETE PAVEMENT SHALL BE PROVIDED AROUND ALL BUILDINGS, JUNCTIONS, STRUCTURES OR FIXED OBSTRUCTIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING WITH MATCHING MATERIAL ANY PAVEMENT, WALKS, ETC., THAT ARE CUT OR DAMAGED DURING CONSTRUCTION.

## UTILITY NOTES

1. PRIOR TO CONSTRUCTION OR EXCAVATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE AREA OF CONSTRUCTION THAT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL CONTACT MISS UTILITY OF VIRGINIA AT 1-800-552-7001 TO MARK UNDERGROUND UTILITIES PRIOR TO EXCAVATING. LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE. EXACT LOCATIONS WILL NEED TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. WATER LINES SHALL HAVE A MINIMUM COVER OF 36 INCHES.
3. THE RELOCATION OR ADJUSTMENT OF ANY OBSTRUCTIONS (POWER POLES, TELEPHONE PEDESTALS, GUY WIRES, WATER METER, ETC.) SHALL BE COORDINATED BY THE CONTRACTOR.
4. THE RELOCATION OF ANY UTILITIES, AS A RESULT OF INTERFERENCE WITH PROPOSED CONSTRUCTION, SHALL BE COORDINATED BY THE CONTRACTOR.
5. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
6. HAND EXCAVATE NEAR EXISTING UTILITIES.
7. ALL WATERLINES SHALL BE PROPERLY RESTRAINED.
8. THE CONTRACTOR SHALL PROVIDE TEMPORARY BY-PASS PUMPING DURING CONSTRUCTION OF THE NEW SANITARY AND STORM DRAIN LINES.
9. TAPPING SLEEVE AND VALVE TO BE SUPPLIED AND INSTALLED BY CONTRACTOR AND THE AUTHORITY SHALL PERFORM WET TAP.
10. ANY EXISTING WATER METERS THAT MAY FALL IN THE LIMITS OF CONSTRUCTION WILL NEED TO BE ABANDONED ACCORDING TO THE AUTHORITY STANDARD.
11. ALL UTILITY SERVICE LATERALS OR SERVICE LINES SHALL BE INSTALLED UNDERGROUND, INCLUDING ELECTRICAL SERVICE.

## EROSION AND SEDIMENT CONTROL NOTES

1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
2. THE CONTRACTOR SHALL APPLY PERMANENT OR TEMPORARY SOIL STABILIZATION TO ALL DENUDED OR DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED TO DENUDED OR DISTURBED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WHICH WILL REMAIN UNDISTURBED FOR LONGER THAN 7 DAYS. SOIL STABILIZATION MEASURES INCLUDE VEGETATIVE ESTABLISHMENT, MULCHING AND THE EARLY APPLICATION OF GRAVEL BASE MATERIAL ON AREAS TO BE PAVED.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION.
4. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING EVENT. ANY NECESSARY REPAIRS TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND CLEANUP OF SEDIMENTATION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MADE IMMEDIATELY.
5. THE CONTRACTOR SHALL LIMIT SITE ACCESS BY CONSTRUCTION VEHICLES TO ENTRANCES PROTECTED BY A STONE CONSTRUCTION ENTRANCE OR AN APPROVED COMPARABLE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED FROM PAVED AREAS ON A DAILY BASIS.
6. STOCK PILES OF SOIL AND OTHER ERODIBLE MATERIALS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION FOR STOCKPILES ON SITE AS WELL AS FOR MATERIALS TRANSPORTED FROM THE PROJECT SITE.
7. THE CONTRACTOR SHALL MONITOR AND TAKE PRECAUTIONS TO CONTROL DUST INCLUDING (BUT NOT LIMITED TO) USE OF WATER, MULCH, OR CHEMICAL DUST ADHESIVES AND CONTROL OF CONSTRUCTION SITE TRAFFIC.
8. EFFLUENT FROM DE-WATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES, WETLANDS, WATERWAYS OR THE STORM DRAINAGE SYSTEM.
9. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ANY ADDITIONAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED NECESSARY BY THE PLAN APPROVING AUTHORITY.
10. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. AFTER STABILIZATION IS COMPLETE, ALL MEASURES SHALL BE REMOVED WITHIN 30 DAYS.

## ABBREVIATIONS

AC	ACRE
BLDG	BUILDING
BM	BENCH MARK
BW	BOTTOM OF WALL
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CP	CONCRETE PIPE
D.B.	DEED BOOK
DI	DROP INLET
E	EAST
E&S	EROSION AND SEDIMENT CONTROL
ELEV/EL	ELEVATION
EP	EDGE OF PAVEMENT
EX/EXIST	EXISTING
FF	FINISH FLOOR ELEVATION
FT	FEET
GEN	GENERATOR
H/HORZ	HORIZONTAL
INV	INVERT
JB	JUNCTION BOX STRUCTURE
LF	LINEAR FEET
LBS	POUNDS
L/P	LIGHT POLE
MB	MAP BOOK
MAX	MAXIMUM
MG	MATCH GRADE
MIN	MINIMUM
MH	MANHOLE
MUTCD	MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES
N/F	NORTH
NE	NOW OR FORMERLY
NW	NORTHEAST
OU	OVERHEAD UTILITY
PG	PAGE
PSI	POUNDS PER SQUARE INCH
P/P	POWER POLE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
R/W	RIGHT-OF-WAY
S	SOUTH
SAN	SANITARY
SMH	SANITARY MANHOLE
SCO	SANITARY CLEANOUT
SD	STORM DRAIN
SE	SOUTHEAST
SF	SQUARE FEET
STD	STANDARD
SW	SOUTHWEST
STY	STORY
SPEC	SPECIFICATION
TRANS	TRANSFORMER
TW	TOP OF WALL
TYP	TYPICAL
UNK	UNKNOWN
VSMF	VIRGINIA STORMWATER MANAGEMENT PERMIT
VSCH	VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK
VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
WW	WATER VALVE/WATER VAULT
WM	WATER METER
W/W	WITH
W	WEST

## LEGEND

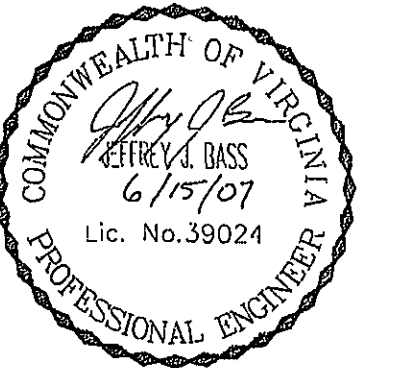
EXISTING	NEW	
		BUILDING
		CONCRETE
		ASPHALT PAVEMENT
		REMOVE / DEMOLISH
		HEAVY DUTY ASPHALT
		SANITARY SEWER
		STORM SEWER
		SPOT ELEVATION
		CONTOUR
		DOOR LOCATION
		CONNECT NEW TO EXISTING
		TREE LINE
		EASEMENT
		PROPERTY LINE
		RIGHT-OF-WAY
		BORING LOCATION
		INLET PROTECTION
		PROJECT LIMITS
		LIMITS OF CLEARING AND GRADING
		SILT FENCE
		OVERHEAD UTILITY
		CHAIN LINK FENCE
		POWER POLE
		TREE
		BENCHMARK
		LIGHT POLE
		DROP INLET
		OUTLET PROTECTION
		CONSTRUCTION ENTRANCE
		SANITARY SEWER MANHOLE

AS - BUILT  
02/13/2008

DEVELOPMENT PLAN APPROVED	
Agent, Planning Commission	Date
Development Engineer	6-20-07
Zoning Administrator	6-19-07
Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.	

CLARK NEXSEN  
Architecture & Engineering

6160 KEMPSVILLE CIRCLE  
NORFOLK, VIRGINIA 23502  
757-455-5800 FAX 757-455-5638  
WWW.CLARKNEXSEN.COM



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CAMPBELL AVENUE  
PARKING DECK  
ROANOKE, VIRGINIA

CN NO: 2426.2  
DATE: 6/15/07  
DESIGN: JJB  
DRAWN: JAW  
REVIEW: TAR  
REVISIONS  
No. Date Description By

GENERAL NOTES  
LEGEND AND  
ABBREVIATIONS

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SHEET 2 OF 11

Received  
WVWA - Engineering  
JUN 22 2007

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