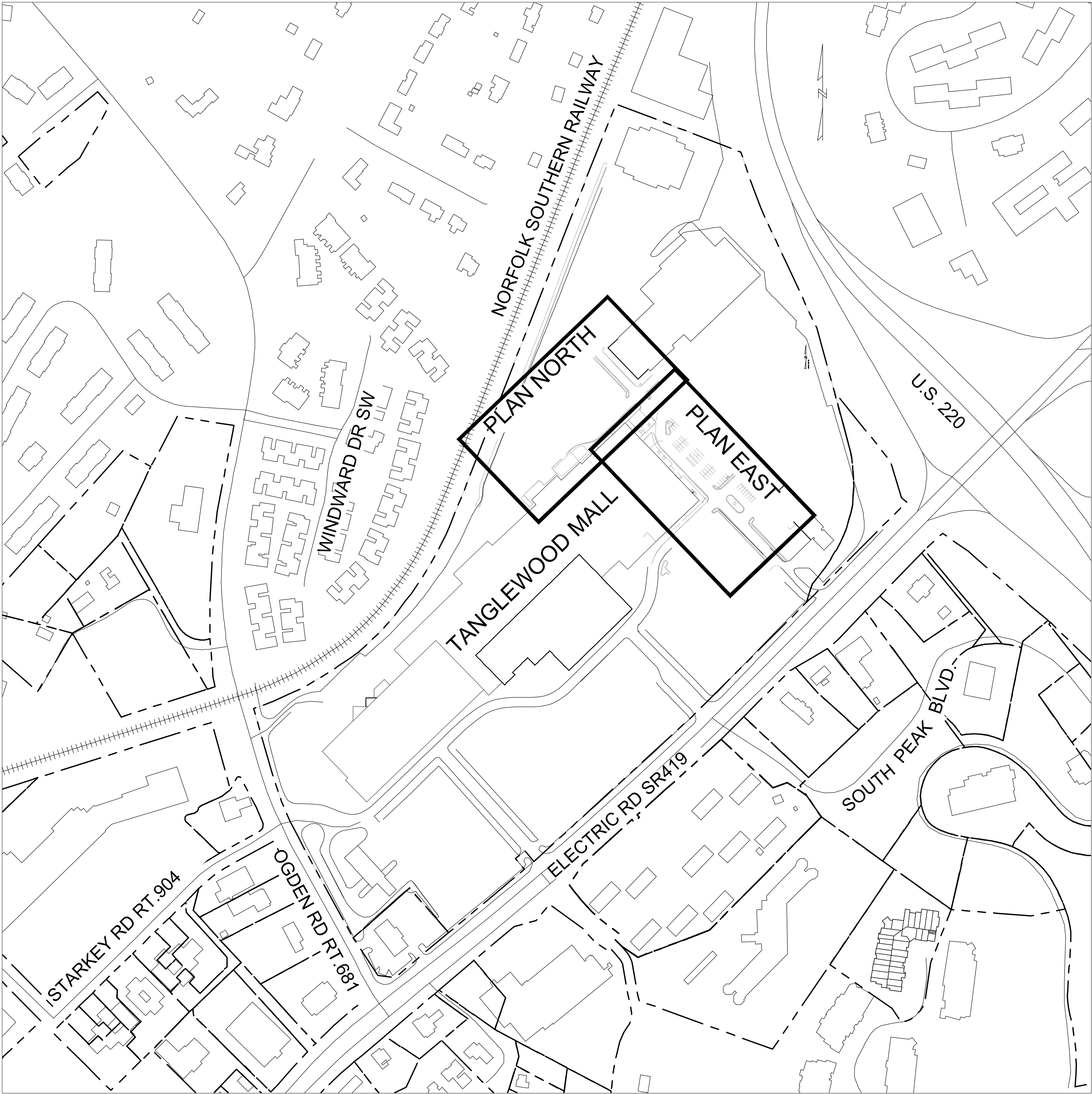


Filename: \\NA-AECOM\NET\COM\IT\SW\MER\ROANOKE\USRNK1\DCS\PROJECTS\BDBL\60609975\9000_CAD\15-SHEET\SC\60609975_C-100.DWG



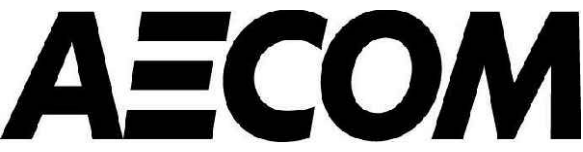
SITE KEY PLAN SCALE 1" = 200'

SITE SUMMARY TABLE

TOTAL PARCEL AREA =	54.58 AC (2,377,505 SF)		
TOTAL BUILDING FOOTPRINT =	+/- 461,400 SF		
SITE ADDRESS:	4348 ELECTRIC ROAD, ROANOKE, VA 24018		
TAX MAP ID:	077.16-01-02.00-0000		
PARCEL ZONING:	COUNTY - C2		
ZONING DESCRIPTION:	HIGH INTENSITY COMMERCIAL DISTRICT		
ADJACENT ZONING:	N/A - PROPERTY IS DELINEATED BY RAILROAD AND PUBLIC RIGHT-OF-WAY		
ADJACENT LAND USE:	N/A - PROPERTY IS DELINEATED BY RAILROAD AND PUBLIC RIGHT-OF-WAY		
MINIMUM LOT REQUIREMENTS:			
LOT AREA:	1 AC (43,560 SF)	EXISTING: 54.58 AC (2,377,505 SF)	
LOT FRONTAGE:	100 FT ON A PUBLICLY OWNED AND MAINTAINED STREET.	EXISTING FRONTAGE: +/- 1400 FT	
MINIMUM SETBACK REQUIREMENTS:			
FRONT YARD:			
PRINCIPAL STRUCTURE:	30 FT	EXISTING: 370 FT; NO NEW STRUCTURES PROPOSED	
ACCESSORY STRUCTURE:	BEHIND THE FRONT BUILDING LINE	EXISTING: NO NEW STRUCTURES PROPOSED	
REAR YARD:			
PRINCIPAL STRUCTURE:	15 FT	EXISTING: 65 FT; NO NEW STRUCTURES PROPOSED	
ACCESSORY STRUCTURE:	3 FT	EXISTING: NO NEW STRUCTURES PROPOSED	
SIDE YARD: NONE			
MAXIMUM HEIGHT OF STRUCTURES:			
PRINCIPAL STRUCTURE:	WHEN ADJOINING PROPERTY ZONED R-1 OR R-2, 45 FT, INCLUDING ROOFTOP MECHANICAL EQUIPMENT.	EXISTING: NO NEW STRUCTURES PROPOSED	
ACCESSORY STRUCTURE:	ACTUAL HEIGHT OF PRINCIPAL STRUCTURE	EXISTING: NO NEW STRUCTURES PROPOSED	
MAXIMUM COVERAGE:			
BUILDING COVERAGE:	50% OF TOTAL LOT AREA	EXISTING: 24%; BUILDING COVERAGE WILL NOT BE MODIFIED	
LOT COVERAGE:	90% OF TOTAL LOT AREA	EXISTING: 91%; LOT COVERAGE WILL BE REDUCED	
PARKING REQUIREMENTS:			
EXISTING PARKING COUNT:	3,323 (TOTAL INCLUDING 50 HANDICAP SPACES)		
PROPOSED PARKING COUNT:	3,302 (INCLUDING 54 HANDICAP SPACES)		
*PROPOSED PROJECT WILL REDUCE TOTAL PARKING BY 23 AND INCREASE ADA PARKING BY 4			
VDOT TRAFFIC COUNTS:			
EXISTING JCPENNY RETAIL:	162,668 SF	881 VPH	9,317 VPD
PROPOSED CARILION CLINIC:	+/- 150 EMPLOYEES	159 VPH	1,337 VPD
*TRAFFIC COUNT CALCULATIONS WILL BE REDUCED AS A RESULT OF THIS PROJECT			
PROJECT LIMITS AND DISTURBED AREA:			
PROJECT LIMITS OF WORK (LOW):	98,684 SF (2.3 AC)		
PROJECT LAND DISTURBANCE (LOD):	39,269 SF (0.90 AC)	(LOD) PRE-DEVELOPMENT IMPERVIOUS AREA: 30,446 SF	
		(LOD) POST-DEVELOPMENT IMPERVIOUS AREA: 29,145 SF	
SIGNAGE:	ALL EXTERIOR SIGNAGE IS REQUIRED TO MEET REGULATIONS PER SECTION 30-93 OF THE ROANOKE COUNTY ZONING ORDINANCE.		



GRAPHIC SCALES



PROJECT

CARILION
TANGLEWOOD
MULTI-SPECIALTY
CLINIC

TANGLEWOOD MALL
4444 ELECTRIC ROAD
ROANOKE, VIRGINIA 24018

CLIENT



CONSULTANT

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REGISTRATION



ISSUE/REVISION

1	09/23/2020	COUNTY SITE DEV PLAN [2]
1	06/19/2020	COUNTY SITE DEV PLAN
1	05/04/2020	DESIGN DEVELOPMENT
I/R	DATE	DESCRIPTION

PROJECT NUMBER

60609975

SHEET TITLE

SITE SUMMARY
AND KEY PLAN

SHEET NUMBER

C-100