

SANITARY SEWER STRUCTURE SCHEDULE

- (EX) EXISTING MANHOLE
TOP=1069.65
NEW INV IN=1062.58
INV OUT=1062.48
- (1) PROPOSED MANHOLE
TOP=1067.52
INV IN=1063.67
INV OUT=1063.57
- (2) PROPOSED MANHOLE
TOP=1078.25
INV IN=1069.42
INV OUT=1069.32
- (3) PROPOSED MANHOLE
TOP=1074.92
INV IN=1070.05
INV OUT=1069.95
- (4) PROPOSED MANHOLE
INSIDE DROP
TOP=1083.11
INV IN=1076.11
INV OUT=1071.11
- (5) PROPOSED MANHOLE
TOP=1087.46
INV IN=1083.48
- (6) PROPOSED MANHOLE
TOP=1086.51
INV IN=1082.29
INV OUT=1082.19
- (7) PROPOSED MANHOLE
TOP=1102.30
INV IN=1094.90
- (8) PROPOSED MANHOLE
TOP=1082.56
INV IN=1077.47
INV OUT=1077.57
- (9) PROPOSED MANHOLE
TOP=1101.14
INV OUT=1095.34

LINE	LENGTH	BEARING	SIZE	SLOPE
L1	90.80	S47°01'58"W	8" PVC	1.09%
L2	151.69	S61°23'24"W	8" PVC	3.72%
L3	205.90	N28°40'52"W	8" PVC	0.51%
L4	128.21	S68°29'37"W	8" PVC	0.83%
L5	151.07	S61°52'54"W	8" PVC	2.89%
L6	121.20	S22°42'57"E	8" PVC	2.54%
L7	185.90	S28°54'44"E	8" PVC	6.78%
L8	246.30	S28°40'52"E	8" PVC	3.27%
L9	196.16	S40°33'32"W	8" PVC	9.06%

- NOTE:**
- 1: NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, AND VDOT.
 - 2: ANY NEW ALIGNMENTS, CHANGES IN GRADE, ALTERNATE PIPE SIZES OR MANHOLES OR ALTERATIONS TO THE ESC PLAN WILL REQUIRE A NEW SET OF PLANS. PLAN SHEETS CAN BE 8.5"x11" IF THE INFORMATION IS LEGIBLE.
 - 3: ALL RESIDENTIAL CONNECTIONS SHALL REQUIRE A PRV PER VVWA DETAIL W-02
 - 4: THE FIRE HYDRANT AT THE END OF THE CUL-DE-SAC SHALL SERVE AS THE BLOW OFF VALVE.

LINE	LENGTH	BEARING
L9	28.15'	S00°18'24"E
L10	87.61'	S41°35'47"E
L11	321.89'	N28°40'52"W

LINE	LENGTH	RADIUS	TANGENT	CHORD BEARING	CHORD	DELTA
C1	91.42'	125'	47.86	N20°38'41"E	89.39'	41°54'11"
C2	153.32'	125'	87.98	S06°27'27"W	143.89'	70°16'39"

SITE SUMMARY

OWNER: ALAN DEVEESE
686 LEE HIGHWAY
1 (540) 992-3305

DEVELOPER: ALAN DEVEESE
686 LEE HIGHWAY
1 (540) 992-3305

TAX MAP NUMBER: 2616-02-13.00

SIZE: 5.821 AC.

ZONING: R1S (ZERO LOT LINE OPTION)

MINIMUM LOT SIZE REQUIRED: .13 AC./5,760 SQ.FT.

MINIMUM LOT FRONTAGE REQUIRED: 60' ON EXISTING R/W
48' ON INTERIOR ROAD

LOT FRONTAGE PROVIDED: 60'

SETBACKS: FRONT 30' OFF OF EXISTING R/W
24' OFF OF INTERIOR ROAD

SIDE 10' WHEN ADJACENT TO PROPERTY NOT
WITHIN COMMON DEVELOPMENT - OTHERWISE
ONE 10' YARD AND ONE ZERO YARD

REAR 25' WHEN ADJACENT TO PROPERTY
NOT WITHIN COMMON DEVELOPMENT
OTHERWISE 20'

FEMA MAP #: 51161C0022 D (EFFECTIVE DATE, 10/15/93)

MAXIMUM BUILDING HEIGHT: 45'

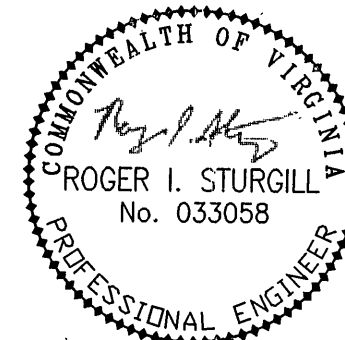
MAXIMUM LOT COVERAGE: 50%

STREET CATEGORY: ONE- 190 TRIPS PER DAY

MAXIMUM BUILDING COVERAGE: 30 PERCENT OF LOT AREA

PARKING: DEVELOPER SHALL PROVIDE A MINIMUM OF 2 OFF
STREET PARKING SPACES FOR EACH LOT.

WALL MAINTENANCE NOTE: A PERPETUAL 5 FOOT WALL
MAINTENANCE EASEMENT SHALL BE PROVIDED ON THE
LOT ADJACENT TO THE ZERO LOT LINE PROPERTY LINE.
THIS EASEMENT SHALL BE KEPT CLEAR OF STRUCTURES
OR ANY OTHER IMPROVEMENT WHICH WOULD INFRINGE
ON THE USE OF THE EASEMENT, WITH THE EXCEPTION OF
FREESTANDING WALLS AND FENCES. THIS EASEMENT
SHALL BE SHOWN ON THE PLAT AND INCORPORATED
INTO EACH DEED TRANSFERRING TITLE TO THE
PROPERTY.



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CARRIAGE PARK
LAYOUT AND UTILITY PLAN
HOLLIS
ROANOKE COUNTY, VIRGINIA

DRAWN BY: JAE
DESIGNED BY: JAE
CHECKED BY: SMH
DATE: 3-24-05

REVISIONS:
6-8-05
6-15-05
8-8-05
8-29-05
9-27-05
10-29-05

SCALE: 1"=40'

SHEET NO.
3 OF 9
JOB NO.
R0500012.00