

SITE SUMMARY:

OWNER: CAVERNS, LLC
5282 HUNTING HILLS SQUARE
ROANOKE, VA 24018

DEVELOPER: JIMMY, INC.
1338 LEE HIGHWAY
ROANOKE, VA 24019

TAX MAP NUMBERS: 064.03-02-03.00-0000
064.03-02-04.00-0000

TOTAL SITE AREA: 2.49 AC.

ZONING: C2 - HIGH-INTENSITY COMMERCIAL DISTRICT

PROPOSED USES: CONVENIENCE STORE
RESTAURANT, DRIVE-IN OR FAST FOOD

MINIMUM LOT SIZE REQUIRED: 15,000 S.F.

MINIMUM LOT FRONTAGE REQUIRED: 75 LF

SETBACKS:

FRONT YARD: 30' OR 20' WHEN ALL PARKING IS LOCATED
BEHIND THE FRONT BUILDING LINE.
SIDE YARD: NONE
REAR YARD: 15'

MAXIMUM BUILDING HEIGHT: 45'
BUILDING HEIGHT PROVIDED: APPROX. 20'

MAXIMUM BUILDING COVERAGE: 50%
BUILDING COVERAGE PROVIDED: APPROX. 5%

MAXIMUM LOT COVERAGE: 90%
LOT COVERAGE PROVIDED: APPROX. 57%

MINIMUM PARKING REQUIREMENTS:
CONVENIENCE STORE (3,500 S.F.):
5 SPACES PER 1,000 S.F.
= 18 SPACES REQUIRED

FAST FOOD RESTAURANT (2,000 S.F.):
1 SPACE PER 100 S.F.
= 20 SPACES REQUIRED

TOTAL = 38 SPACES REQUIRED, INCLUDING 2 HANDICAP

STACKING SPACES REQUIRED/PROVIDED: 6 SPACES/6 SPACES

PROPOSED PARKING = 39 STANDARD SPACES, INCLUDING 2 HANDICAP

LOADING SPACES REQUIRED/PROVIDED: 1 SPACE/1 SPACE

LAYOUT PLAN NOTES:

- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY & VDOT.
- ALL BUILDING AND CANOPY DIMENSIONS AND UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS. THE CONCRETE PAD CONSTRUCTION SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
- FUEL TANK INSTALLATION AND CONCRETE PAD CONSTRUCTION SHALL BE COORDINATED WITH THE APPROPRIATE DRAWINGS FOR THE FUEL TANKS. G.C. SHALL OBTAIN ALL NECESSARY PERMITS FOR THE FUEL TANKS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- EXISTING PAVEMENT TO BE SAWCUT AT LEAST 2' FROM THE EX. EP OR THE DISTANCE REQUIRED TO REACH THE FULL DEPTH OF PAVEMENT PER VDOT STD'S.
- A SIGN PERMIT MUST BE OBTAINED FOR EXISTING AND PROPOSED SIGNAGE FROM ROANOKE COUNTY PRIOR TO THE INSTALLATION OF ANY SIGNAGE ONSITE.
- ANY EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES. A PHOTOMETRIC PLAN SHALL BE SUBMITTED TO ROANOKE COUNTY FOR REVIEW AND APPROVAL BY THE LIGHTING CONTRACTOR AS REQUIRED FOR ANY PROPOSED EXTERIOR SITE LIGHTING.
- ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS), OUTDOOR STORAGE, AND ROOFTOP OR GROUND LEVEL MECHANICAL EQUIPMENT IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, PROPOSED GROUND LEVEL AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED FROM VIEW.
- G.C. SHALL PROVIDE A SERIES 3200 KNOX BOX AT THE ENTRY DOOR OF THE BUILDING PER COUNTY OF ROANOKE STANDARDS IN REGARDS TO MOUNTING HEIGHT AND TYPE OF KNOX BOX.
- CANOPY DRAINS SHALL DRAIN VERTICALLY DOWN THROUGH THE PUMP ISLAND COLUMNS. ALL ROOF LEADERS FOR THE BUILDING AND FUEL CANOPIES SHALL BE TIED INTO THE STORM SEWER SYSTEM. G.C. SHALL COORDINATE WITH THE ARCHITECTURAL AND FUEL CANOPY DRAWINGS.
- G.C. SHALL PROVIDE REQUIRED BACKFLOW PREVENTION FOR THE BUILDING AS REQUIRED BY THE INTERNATIONAL BUILDING CODE & WESTERN VIRGINIA WATER AUTHORITY.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER DURING THE CONSTRUCTION PROCESS. COORDINATE DIRECTLY WITH A.E.P. FOR THIS SERVICE.
- ALL SANITARY SEWER CLEANOUTS LOCATED WITHIN PAVED OR CONCRETE AREAS WITH TRAFFIC SHALL HAVE TRAFFIC BEARING CLEANOUT TOPS PROVIDED AS A MINIMUM.
- THE DEVELOPER SHALL ENSURE THAT AN APPROPRIATE EMERGENCY SPILL POLICY IS IN PLACE FOR THE SITE.
- G.C. SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANIES TO BRING NECESSARY UTILITIES TO THE BUILDING AND CANOPIES.
- G.C. SHALL COORDINATE CONDUIT INSTALLATION FOR ALL NECESSARY UTILITIES FOR THE BUILDING AND CANOPIES. CONDUIT SHALL BE PROVIDED FOR ALL UTILITIES LOCATED UNDER PAVEMENT OR CONCRETE PRIOR TO INSTALLATION OF PAVEMENT OR CONCRETE.
- THE PROPOSED WATER SERVICE SHALL BE SUB-METERED WITHIN THE BUILDING. G.C. TO COORDINATE WITH ARCHITECTURAL PLANS AS NECESSARY.

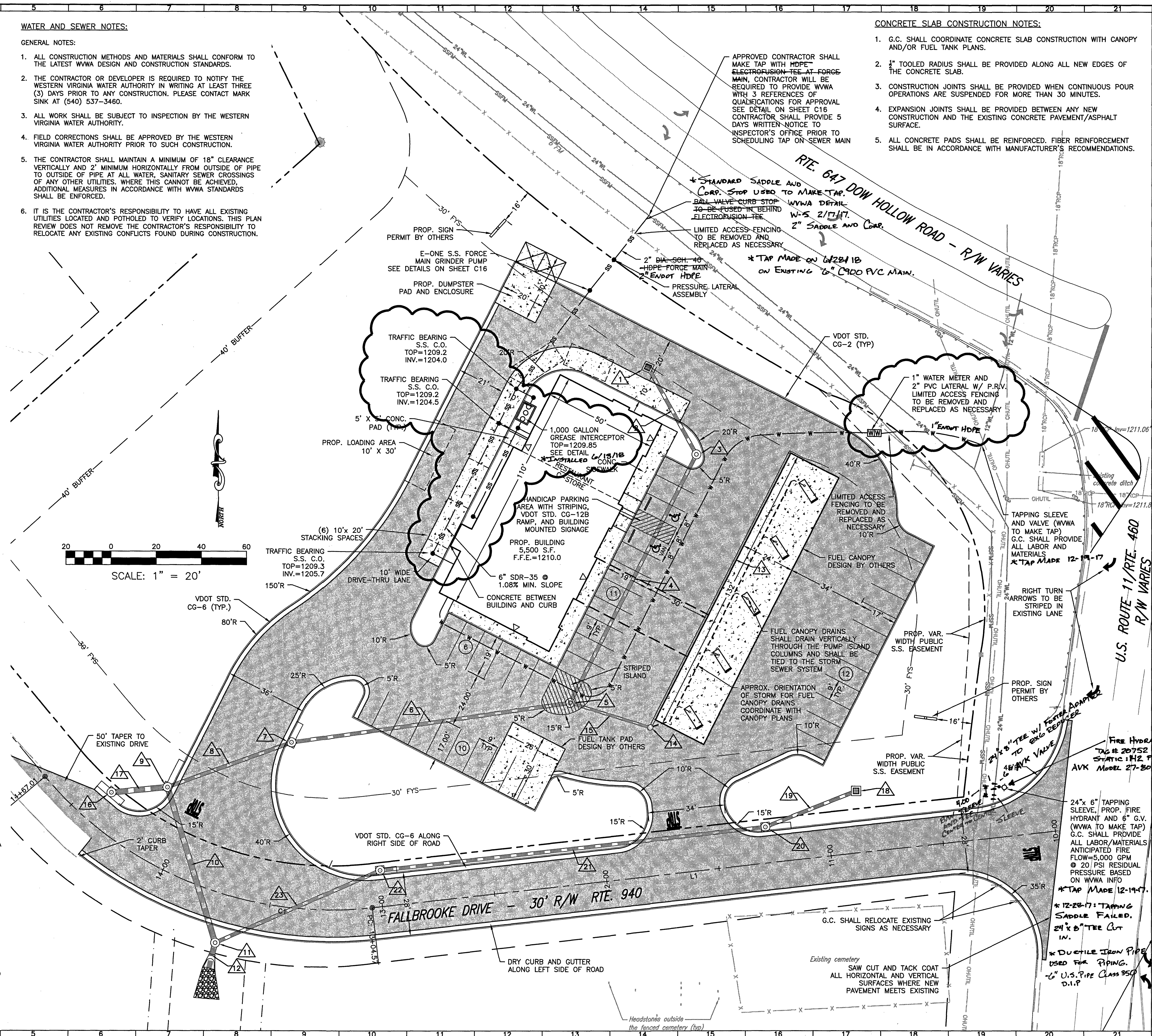
WATER AND SEWER NOTES:

GENERAL NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST WWA DESIGN AND CONSTRUCTION STANDARDS.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE WESTERN VIRGINIA WATER AUTHORITY IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. PLEASE CONTACT MARK SINK AT (540) 537-3460.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY.
- FIELD CORRECTIONS SHALL BE APPROVED BY THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" CLEARANCE VERTICALLY AND 2' MINIMUM HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER, SANITARY SEWER CROSSINGS OF ANY OTHER UTILITIES. WHERE THIS CANNOT BE ACHIEVED, ADDITIONAL MEASURES IN ACCORDANCE WITH WWA STANDARDS SHALL BE ENFORCED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EXISTING UTILITIES LOCATED AND POTHOLED TO VERIFY LOCATIONS. THIS PLAN REVIEW DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.

CONCRETE SLAB CONSTRUCTION NOTES:

- G.C. SHALL COORDINATE CONCRETE SLAB CONSTRUCTION WITH CANOPY AND/OR FUEL TANK PLANS.
- 3" TOOLED RADIUS SHALL BE PROVIDED ALONG ALL NEW EDGES OF THE CONCRETE SLAB.
- CONSTRUCTION JOINTS SHALL BE PROVIDED WHEN CONTINUOUS POUR OPERATIONS ARE SUSPENDED FOR MORE THAN 30 MINUTES.
- EXPANSION JOINTS SHALL BE PROVIDED BETWEEN ANY NEW CONSTRUCTION AND THE EXISTING CONCRETE PAVEMENT/ASPHALT SURFACE.
- ALL CONCRETE PADS SHALL BE REINFORCED. FIBER REINFORCEMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



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COMMONWEALTH OF VIRGINIA
CHRISTOPHER P. BURNS
Lic. No. 047338
12/14/17
PROFESSIONAL ENGINEER

CAVERN MARKET
5721 FALLBROOKE DRIVE
LAYOUT & UTILITY PLAN
CATAMBA DISTRICT
ROANOKE COUNTY, VIRGINIA

12-14-17
Cavern Market
12/14/2017

CAVERN MARKET
LAYOUT & UTILITY PLAN
DRAWN BY CPB
DESIGNED BY CPB
CHECKED BY BTC
DATE 12/14/2016
SCALE 1"=20'

REVISIONS:
2/22/2017
3/4/2017
3/20/2017
9/27/2017
11/21/2017
12/14/2017

SHEET NO.
C3

JOB NO. 04160069.00