

GNJ INVESTMENTS LLC

1118 CENTRE AVENUE, N.W.

WAREHOUSE BUILDING SITE PLAN

CITY OF ROANOKE, VIRGINIA

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PROJECT NOTES

PROPERTY OWNER:
GNJ INVESTMENTS LLC
1129 SHENANDOAH AVE NW
ROANOKE, VA 24017
540-342-3995

ENGINEER:
LMW PROFESSIONAL CORPORATION
102 ALBEMARLE AVE., S.E.
ROANOKE, VIRGINIA 24013
(540) 345-0675

SITE NOTES
TAX#: 2112306
LEGAL REFERENCE: LOTA BLK54 RF&H
ZONING CLASSIFICATION: I-1
ENTERPRISE ZONE: 1A

PROPOSED USE OF SITE: WAREHOUSE
WESTERN VIRGINIA WATER AUTHORITY AVAILABILITY NO: 15-205

TOTAL LOT AREA: 0.9550 (41,600 SF)
TOTAL ACREAGE OF LAND TO BE DEVELOPED: 0.46 AC/20,0340 SF
TOTAL ACREAGE OF LAND TO BE DISTURBED: 0.66 AC/29,040 SF

MINIMUM LOT AREA: 10,000 SF
MAXIMUM LOT AREA: NONE
MINIMUM LOT FRONTAGE: 100'
MAXIMUM LOT FRONTAGE: NONE

LOT FRONTAGE PROVIDED: 320' CENTRE AVE.; 130' 12TH AVE.
FLOOR AREA RATIO: 2.0 MAX.
MAXIMUM IMPERVIOUS RATIO: 90%
IMPERVIOUS SURFACE RATIO PROVIDED: 68%
MAXIMUM/MINIMUM DEPTH OF FRONT YARD: 0
MINIMUM SIDE YARD: 0
MINIMUM REAR YARD FOR A PRINCIPAL STRUCTURE: 0
MAXIMUM HEIGHT OF STRUCTURE: 1 FOOT FOR EACH FOOT OF SETBACK FROM ANY ADJUTING RESIDENTIAL LOT

MINIMUM TREE CANOPY (10% OF DEVELOPED SITE): 20,034 SF X .10 = 2,003 SF
PROVIDED TREE CANOPY: 2,115 SF

PARKING REQUIRED: 12,000SF/5,000SF/1 SPACE=2.4 SPACE=3 SPACES
PARKING PROVIDED: 20 SPACES

City of Roanoke
Planning Building and Development

DEVELOPMENT PLAN APPROVED

Agent, Planning Commission _____ Date 7/17/16

Development Engineer _____ 9/15/16

Zoning Administrator _____ 9/15/16

Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

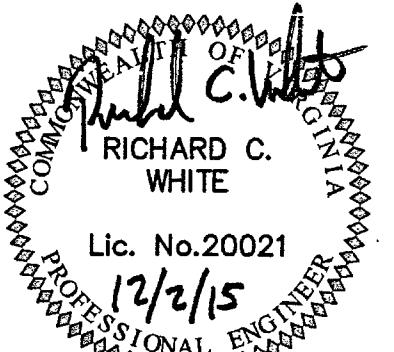
ROANOKE CITY USE ONLY



Engineering
Architecture
Surveying
Landscape Design

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GNJ INVESTMENTS LLC
1118 CENTRE AVENUE, N.W.
WAREHOUSE BUILDING SITE PLAN
COMM. NO.: 4198
PROJECT DATE: 05/30/14
SET NO.: _____

PROJECT REVISION				
No.	Date	Description	By	
3	10/30/15	PER CITY OF ROANOKE COMMENTS	MCP	
2	09/22/15	PER CITY OF ROANOKE COMMENTS	MCP	
1	07/14/15	PER CITY OF ROANOKE COMMENTS	MCP	

CHARLES CRUSH
AS-BUILT
07-08-19

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

1. RIGHT-OF-WAY EXCAVATION PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

2. LAND DISTURBANCE PERMIT - AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.

3. PLANS AND PERMITS - A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.

4. LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

5. CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.

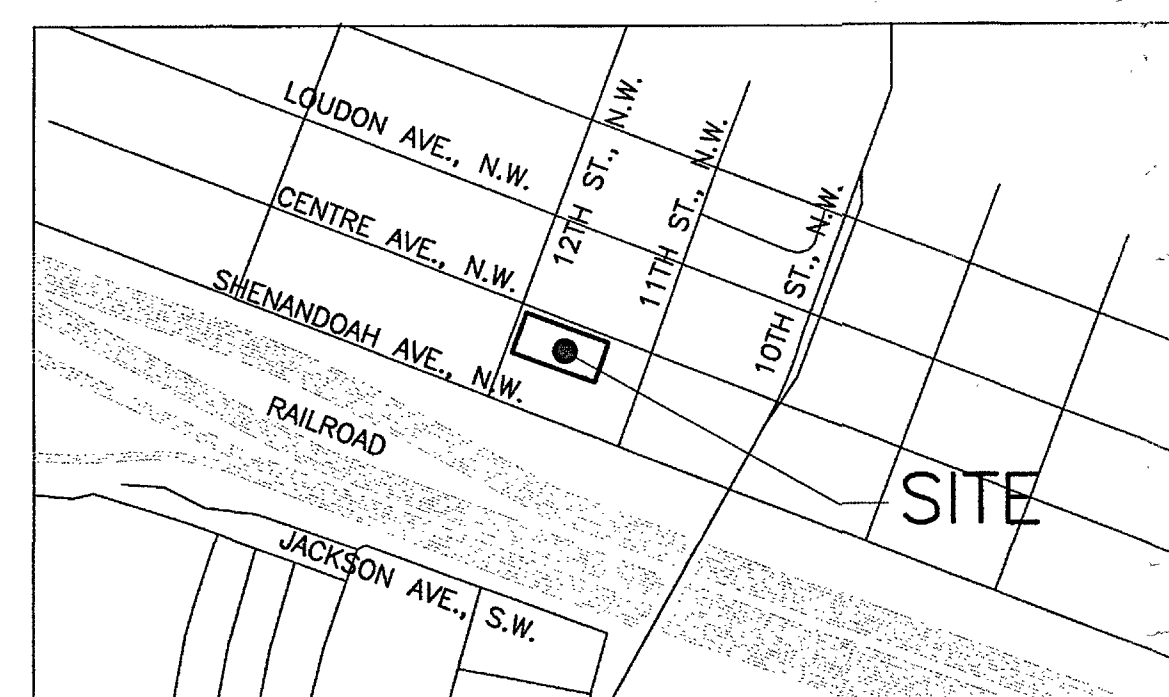
6. STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

7. BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.

8. SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.

9. APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

10. FINAL ACCEPTANCE/CITY - THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM RAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.



VICINITY MAP
NO SCALE

