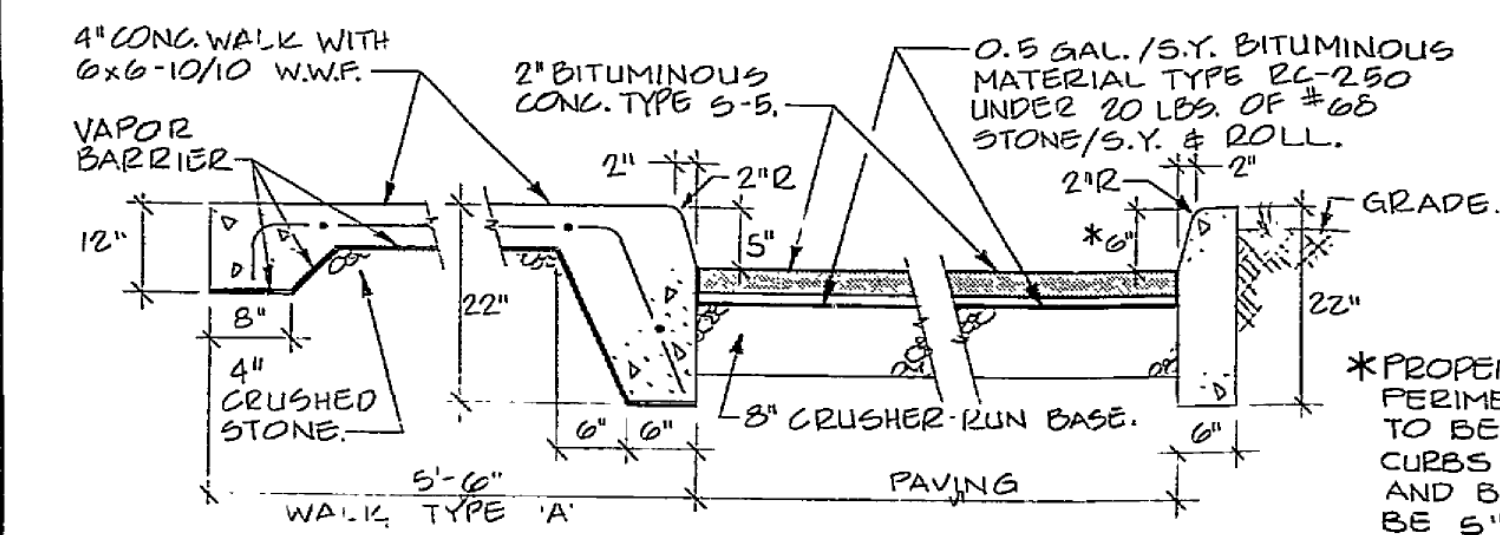
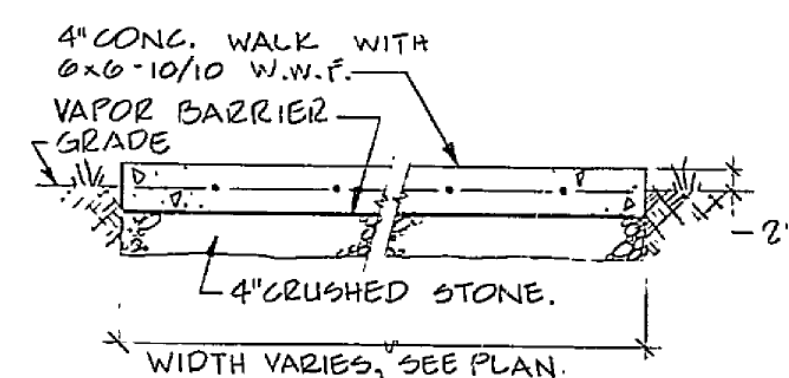
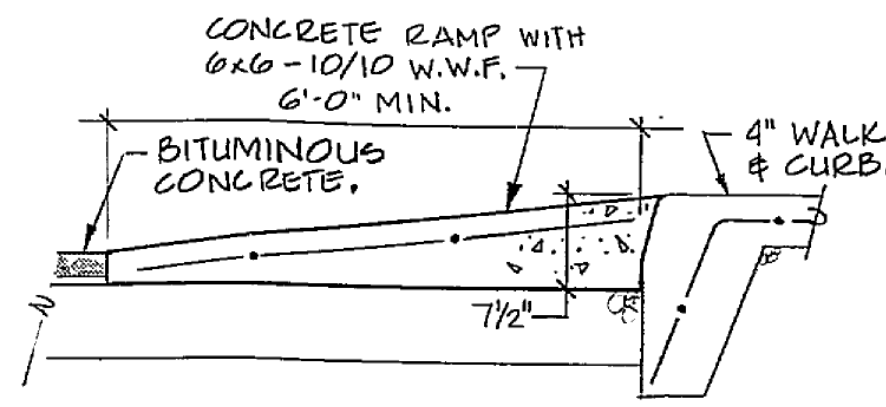




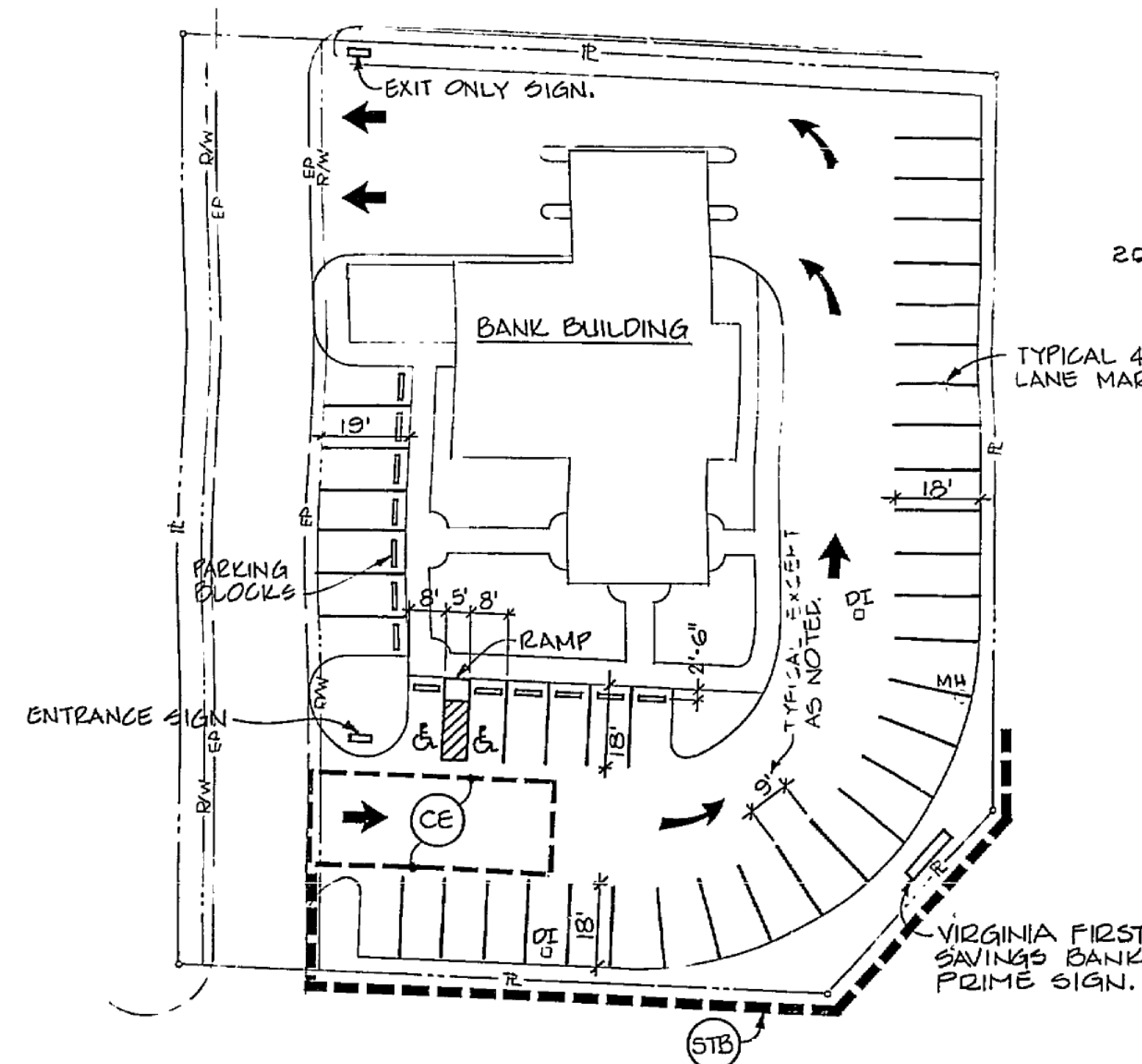
CONC. WALK, CURB & PAVING DETAIL
NO SCALE



CONC. WALK DETAIL
NO SCALE



RAMP DETAIL
NO SCALE



SITE PLAN -
PAVEMENT MARKING &
EROSION CONTROL
SCALE: 1" = 30'-0"

EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR SHALL MAINTAIN EROSION AND SEDIMENT CONTROL THROUGHOUT CONSTRUCTION IN STRICT ACCORDANCE WITH CONTRACT SPECIFICATIONS, ROANOKE COUNTY EROSION AND SEDIMENT CONTROL ORDINANCE AND LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.
2. SEE SHEET C-3 FOR STANDARD DETAILS, GENERAL NOTES AND DATA.

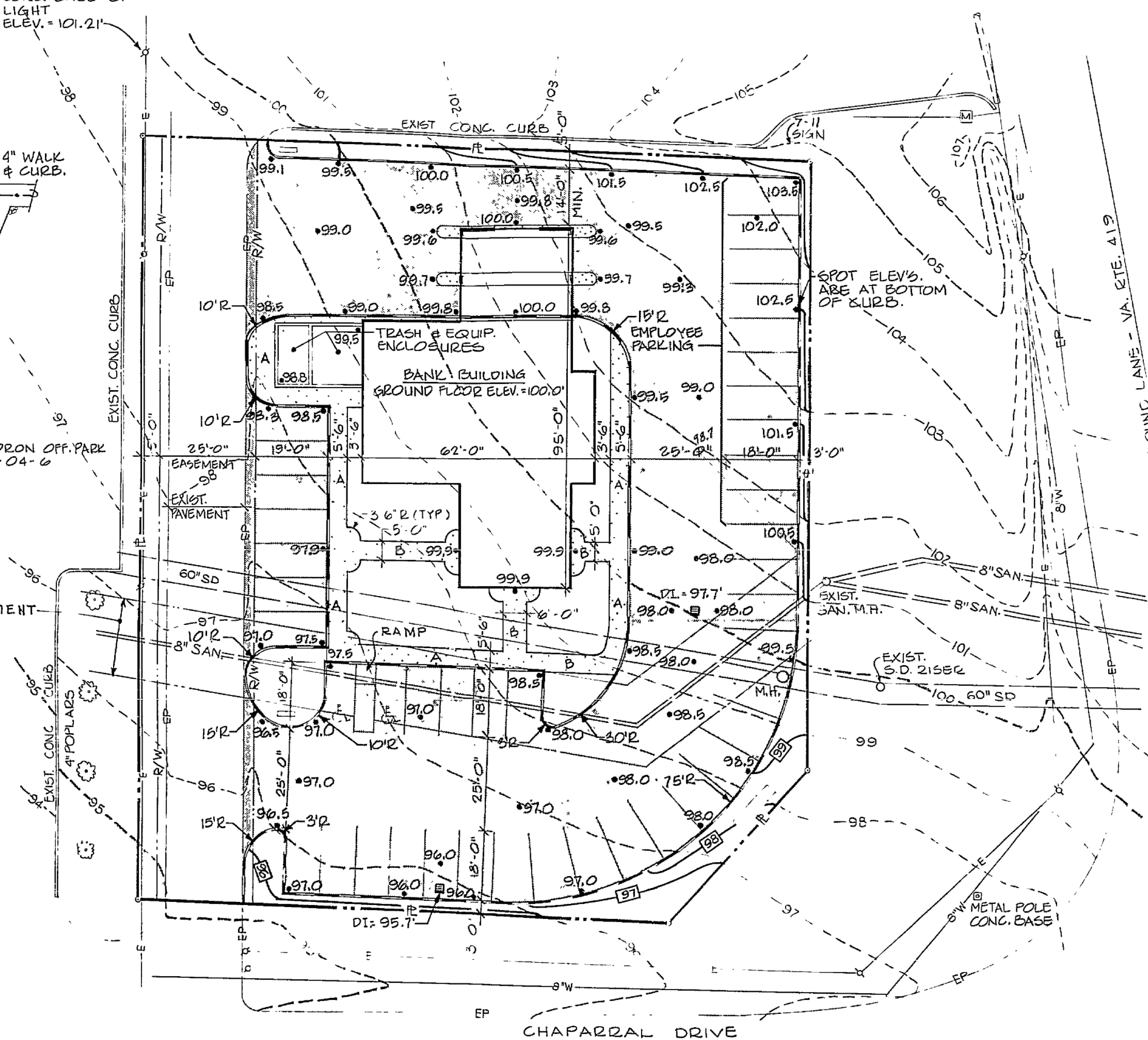
PROPERTY OF
FRALIN & WALDRON OFF. PARK
TAX # 87.06-04-6
ZONED B-1

20' S.S. EASEMENT



T.B.M.
CHISELED "D" ON
CONC. BASE OF
LIGHT
ELEV. = 101.21'

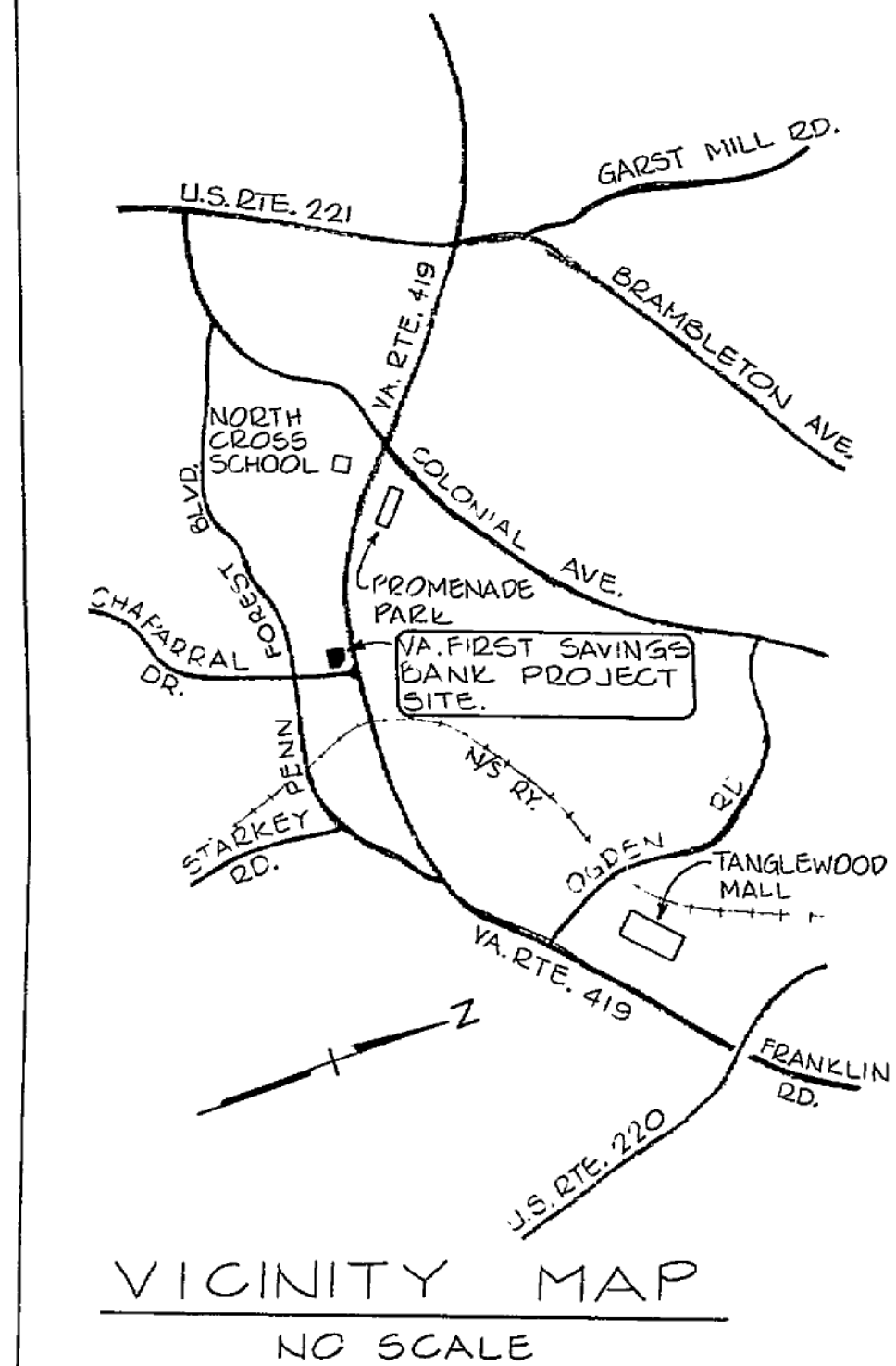
PROPERTY OF
THE SOUTHLAND CORP.
TAX # 87.06-04-3
ZONED B-2



SITE PLAN -
GRADING & DRAINAGE
SCALE: 1" = 20'-0"



BENCHMARK
VDHT R/W MONUMENT
ELEV. = 106.86'



LEGEND

- STRAW BALES
- BITUMINOUS CONCRETE PAVING
- NEW CONCRETE CURB
- EXISTING CONTOURS
- NEW CONTOURS
- SPOT ELEVATION (FINISHED)
- CONCRETE WALKS, ISLANDS, PADS
- EDGE OF PAVEMENT

BUILDING - 2 STORY, 6,500 SQUARE FOOTAGE
PARKING - SPACES REQ'D - 6,500 BLDG SQ. FT. - 32.5 MIN.
200 SQ. FT./SPACE
42 SPACES PROVIDED
ZONING - BUSINESS B-1 REQUESTED
SITE - AREA = 0.787 ACRES
SOIL CLASSIFICATION - ORANGE-BROWN CLAYEY SILT (MC)

GENERAL NOTES:

1. SURVEY INFORMATION OBTAINED FROM TOPOGRAPHIC SURVEY DATED 4 JUNE 1987 FURNISHED BY T.P. PARKER & SON, ENGINEERS & SURVEYORS, LTD., SALEM, VIRGINIA.
2. DIMENSIONS SHOWN TO CURBS ARE TO FACE OF CURB.
3. DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH VIRGINIA DEPARTMENT OF HIGHWAYS AND TRANSPORTATION DESIGN STANDARDS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RIGHT-OF-WAY PERMITS, CONSTRUCTION PERMITS AND LICENSES REQUIRED BY THE STATE OF VIRGINIA, THE COUNTY OF ROANOKE OR OTHER GOVERNING AGENCIES, INVOLVED UNDER THIS CONTRACT.
5. EXISTING UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AT HIS OWN INITIATIVE AND EXPENSE.
6. PAVING CONTRACTOR SHALL COORDINATE FINISHED PAVEMENT GRADES WITH ELEVATIONS AND LOCATIONS OF EXISTING ROADWAYS.
7. THIS PROPERTY IS NOT WITHIN THE LIMITS OF THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON THE FEMA FLOOD BOUNDARY MAP. THIS DETERMINATION IS BASED ON THE FLOOD BOUNDARY MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATION.