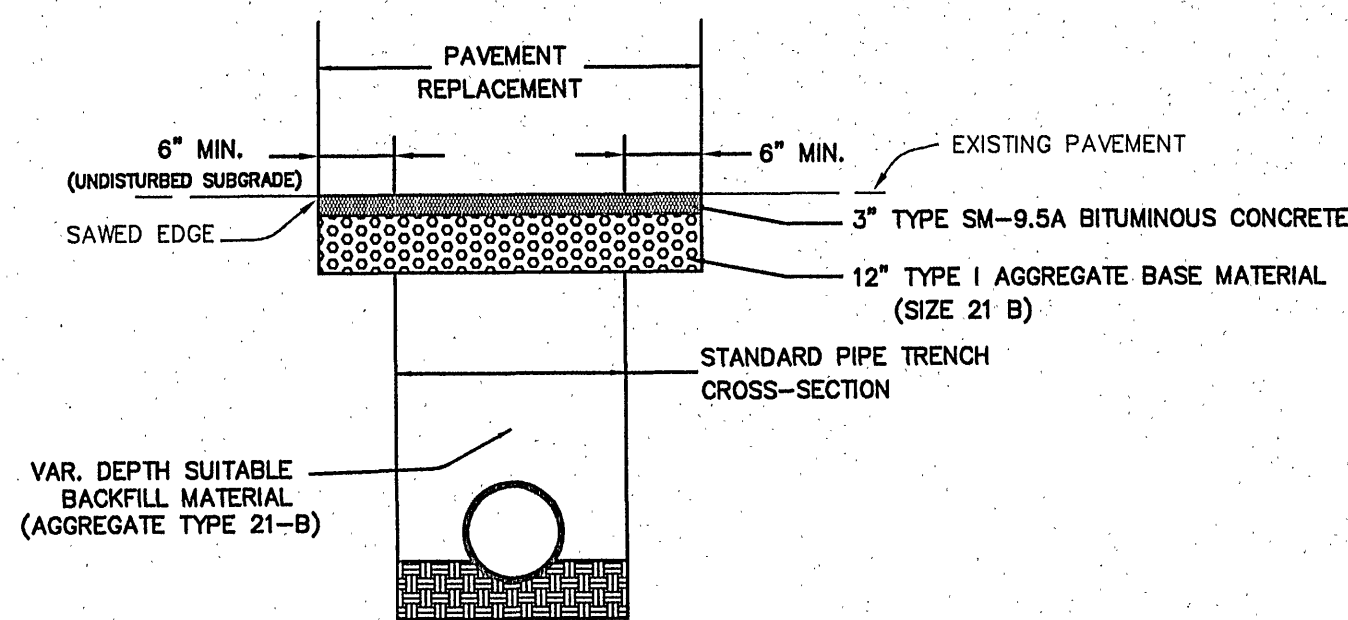


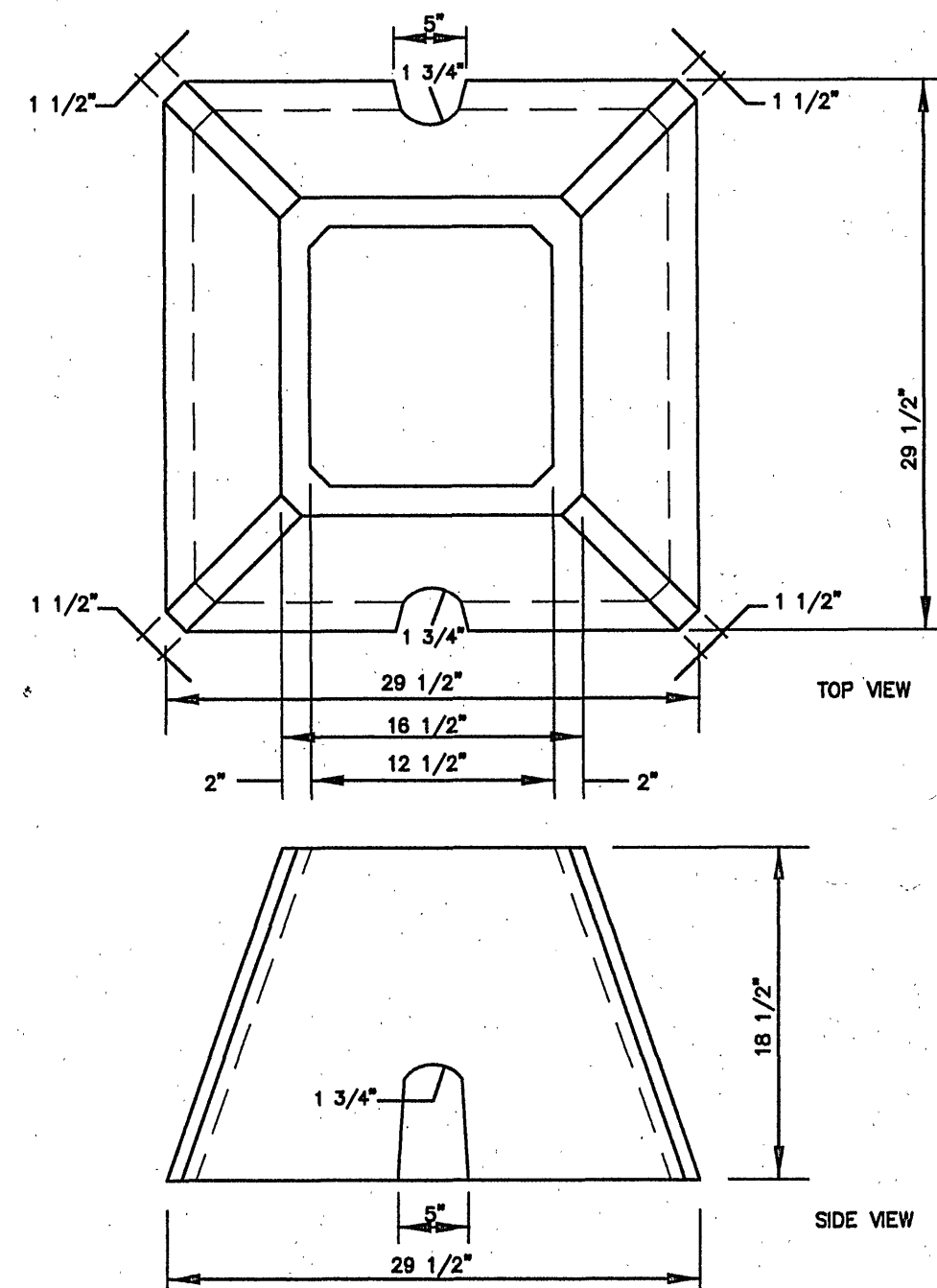


PAVEMENT REPLACEMENT DETAIL

NO SCALE

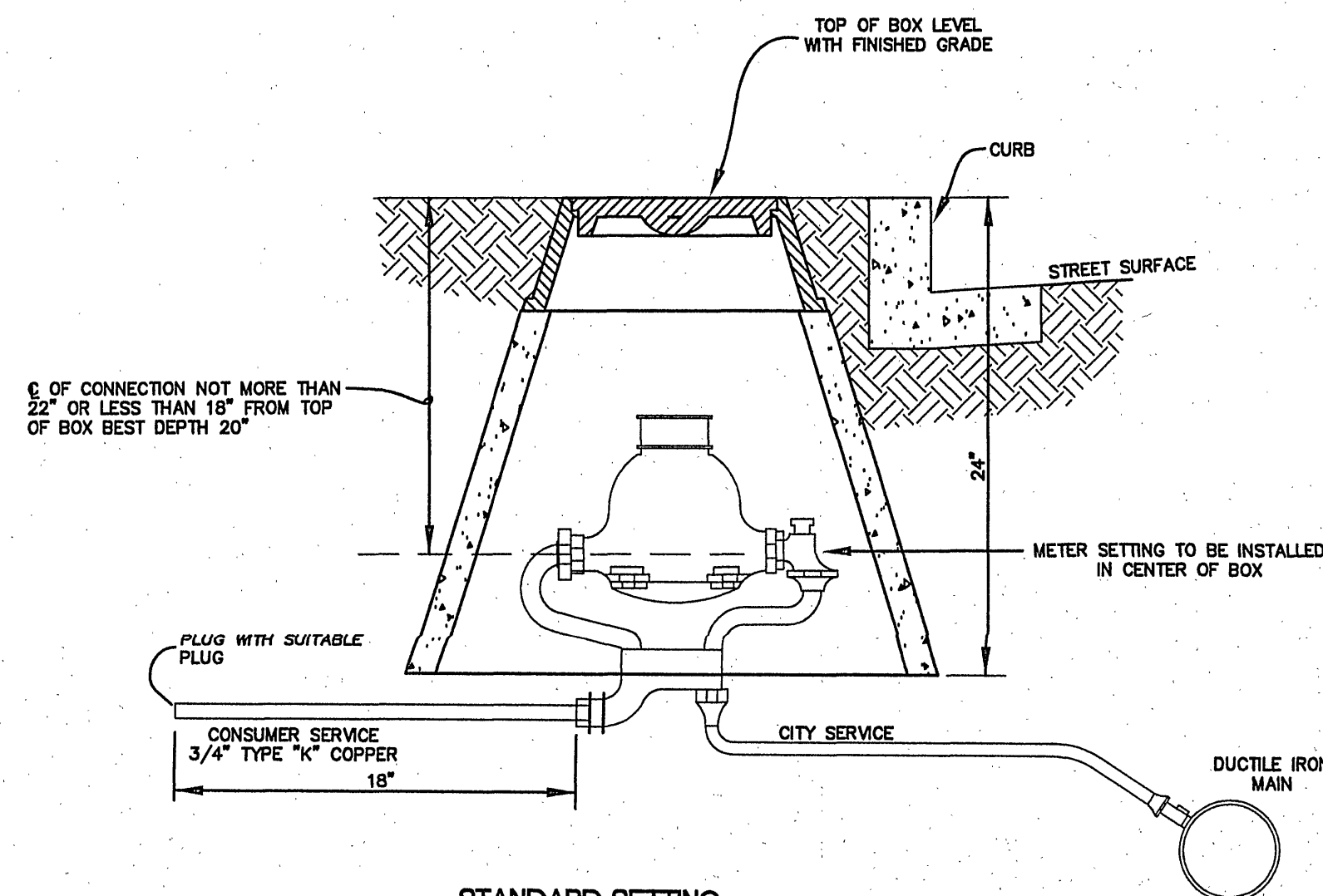
NOTES:

1. SURFACE AND BASE REPLACEMENT WILL GENERALLY BE REQUIRED TO MATCH EXISTING ASPHALT LAYERS AND SHALL BE COMPACTED IN LIFTS ACCORDING TO VIRGINIA DEPARTMENT OF TRANSPORTATION SPECIFICATION 320.
2. AGGREGATE BASE MATERIAL SHALL BE REPLACED TO A DEPTH GREATER THAN EXISTING STONE BASE TO ENDURE LOAD BEARING CAPACITY OF CUT RELATED TO UNDISTURBED EARTH AREAS. AGGREGATE BASE SHALL BE COMPACTED ACCORDING TO VIRGINIA DEPARTMENT SPECIFICATION 209.
3. BEDDING MATERIAL SHALL BE ACCORDING TO REQUIREMENT OF EACH UTILITY (GENERALLY FROM BOTTOM OF TRENCH DITCH TO SIX INCHES ABOVE PIPE WITH A MINIMUM OF FOUR INCHES BELOW THE PIPE).
4. SAW CUT TO BE MADE WITH A MECHANICAL SAW AND SIDES TO BE TACKED WITH BITUMINOUS MATERIAL TYPE RC-250 OR EQUAL.
5. THE CITY OF ROANOKE WILL REQUIRE VERIFICATION OF COMPACTION OF ALL UTILITY TRENCHING WITHIN ANY CITY OF ROANOKE RIGHT-OF-WAY BY A LICENSED GEOTECHNICAL ENGINEER.



WATER METER BOX PRECAST CONCRETE (FOR CAST IRON METER BOX)

NO SCALE

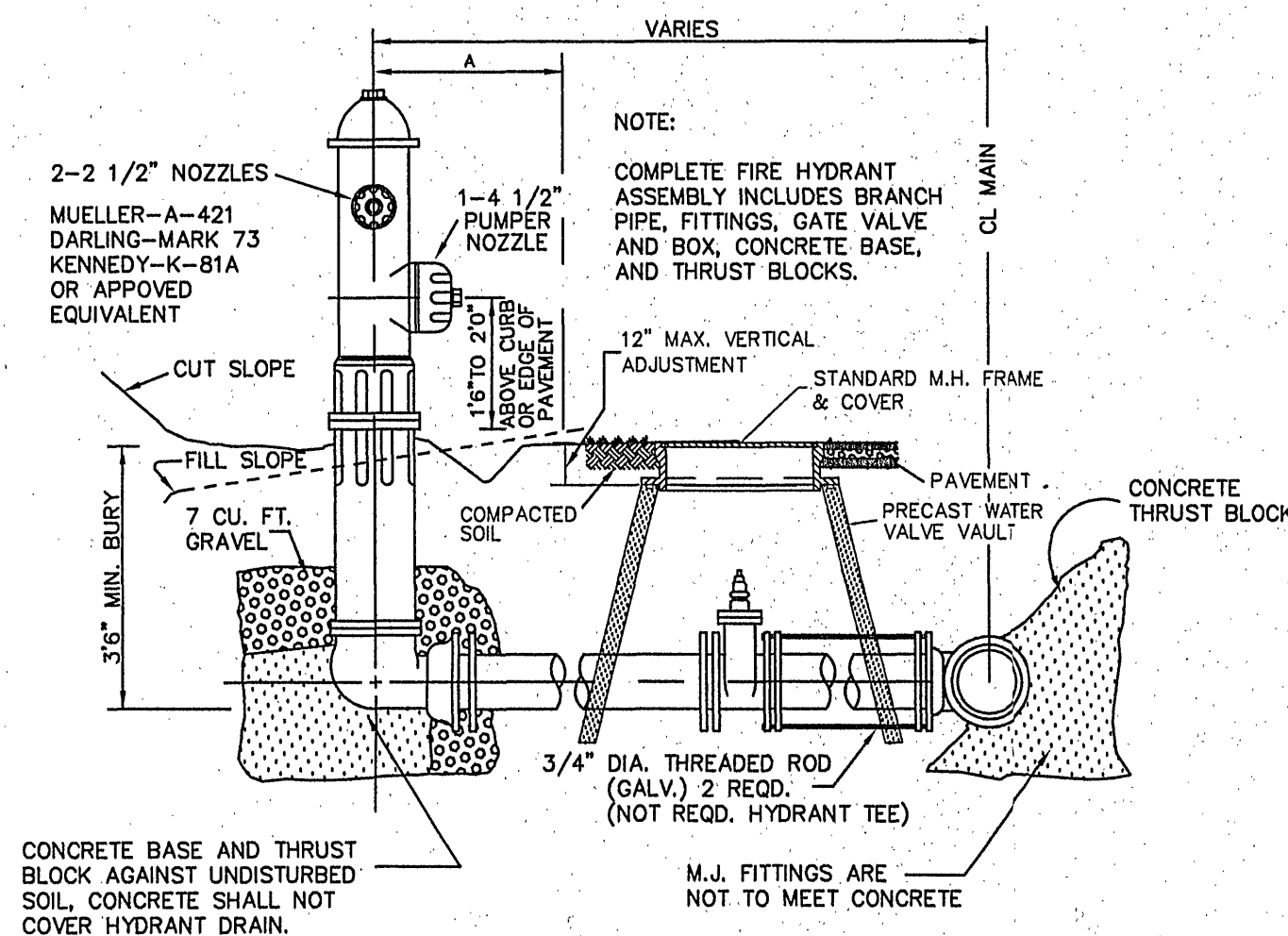


STANDARD SETTING FOR 5/8" WATER METER

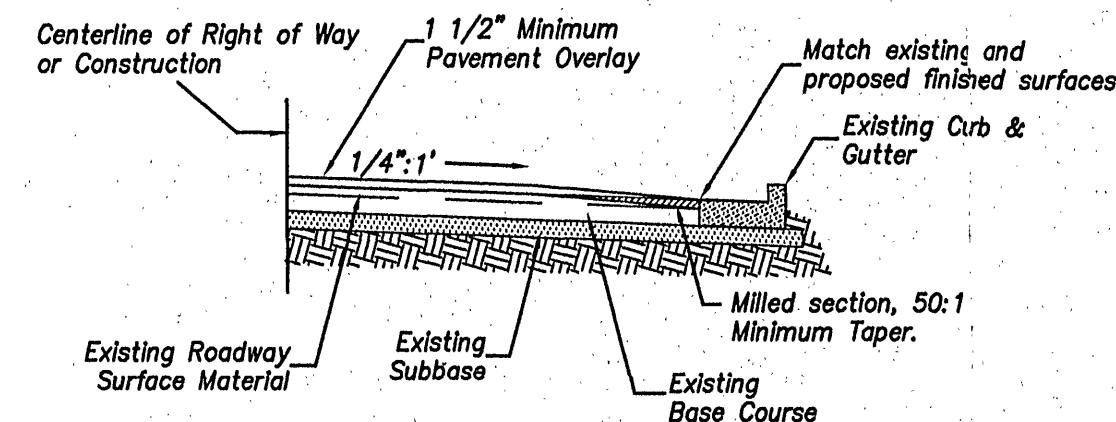
NO SCALE

NOTES:

- (1) MAIN BODY OF HYDRANT MUST BE SILVER AND HAVE RED CAPS AND BONNET.
- (2) DISTANCE "A" WITH CURB AND GUTTER, 2' MIN., 4' MAX. FROM BACK OF CURB.
- (3) DISTANCE "A" WITHOUT CURB AND GUTTER, 6' MIN., 12' MAX. FROM EDGE OF PAVEMENT.
- (4) AREA AROUND HYDRANT AT A RADIUS OF 4' TO BE APPROXIMATELY LEVEL AND UNOBSTRUCTED FOR ROAD CONSTRUCTION.



FIRE HYDRANT SETTING

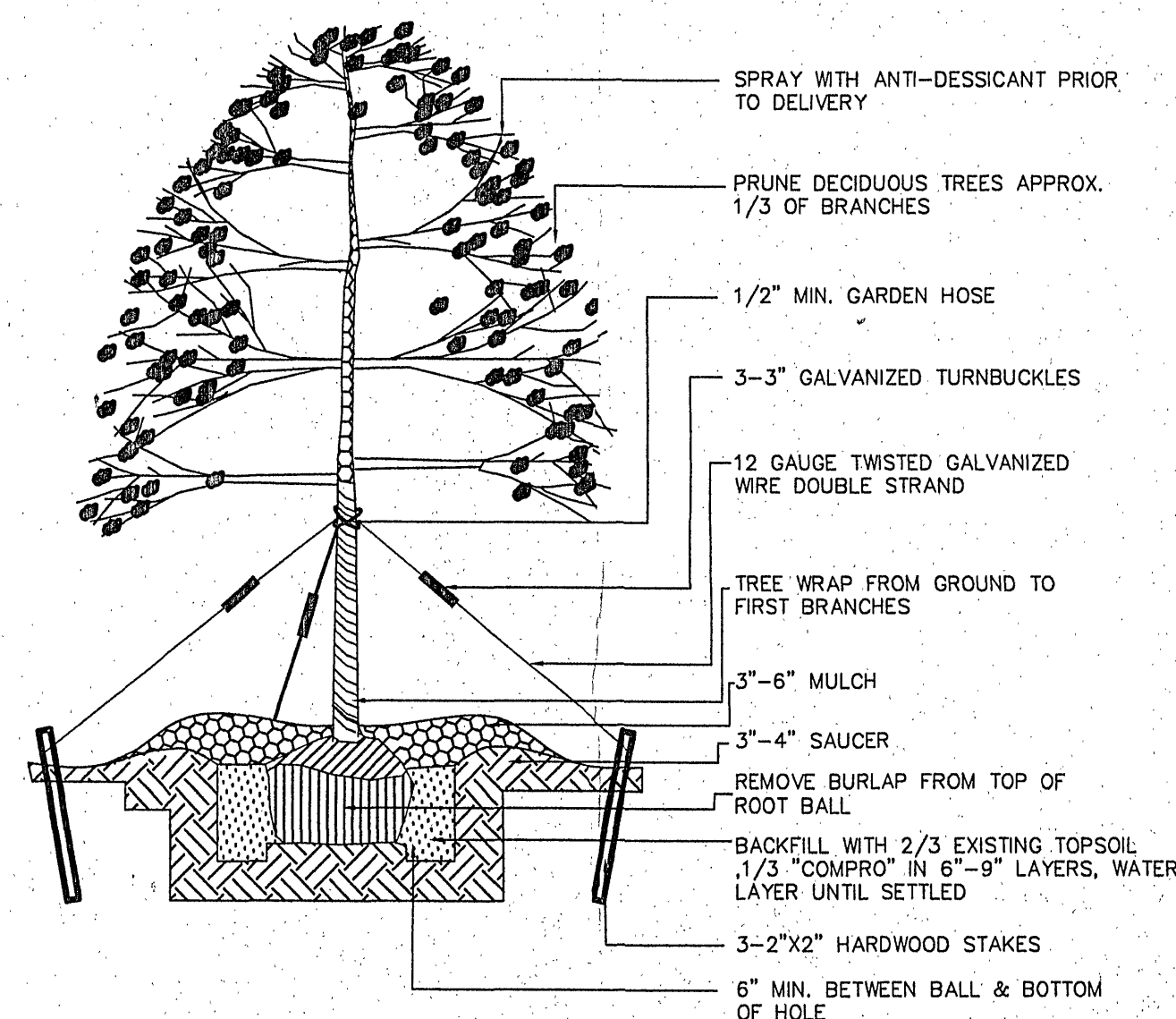


PAVEMENT OVERLAY DETAIL

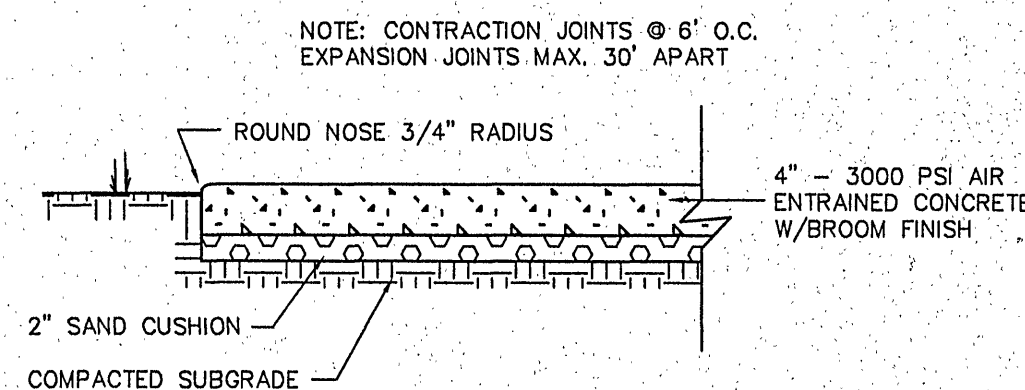
NO SCALE

NOTES:

1. VERIFY PAVEMENT OVERLAY DETAILS AND SPECIFICATIONS WITH THE CITY OF ROANOKE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
2. MAINTAIN CROWNED ROADWAY SECTION WITH 1/4" PER FOOT MINIMUM TRANSVERSE SLOPE.
3. PAVEMENT OVERLAY FINISHED SURFACE SHALL BE FLUSH WITH ADJOINING EXISTING SURFACES. A MINIMUM 50:1 TAPER SHALL BE MILLED TO TIE TO EXISTING SURFACES.



TREE PLANTING DETAIL



CONCRETE WALK

NO SCALE

SITE AND ZONING TABULATIONS:

- CURRENT ZONING: RM-2
PROPOSED USE: TOWNHOMES
SITE ACREAGE: 0.764 ACRES
MINIMUM LOT AREA REQUIRED: 5,000 SQUARE FEET
MINIMUM LOT FRONTAGE = 50 FT
MAXIMUM LOT COVERAGE: 40%
PROPOSED LOT COVERAGE: 28%
MAXIMUM HEIGHT ALLOWED: 35'
PROPOSED BUILDING HEIGHT: 33.25'
MINIMUM REQUIRED SETBACKS:
FRONT: 30'
REAR: 25'
SIDE YARD: COMBINED WIDTH OF 20% OF LOT FRONTAGE OR 10 FEET WHICHEVER IS LEAST AND NOT LESS THAN 4 FT.
REQUIRED OPEN SPACE: 300 S.F./UNIT = 0.035 AC.
PROPOSED OPEN SPACE: 0.052 AC.
OFFSTREET PARKING REQUIRED: 1.5 SPACES PER UNIT X 5 UNITS = 8 SPACES
OFFSTREET PARKING PROVIDED: 10 SPACES

GENERAL NOTES:

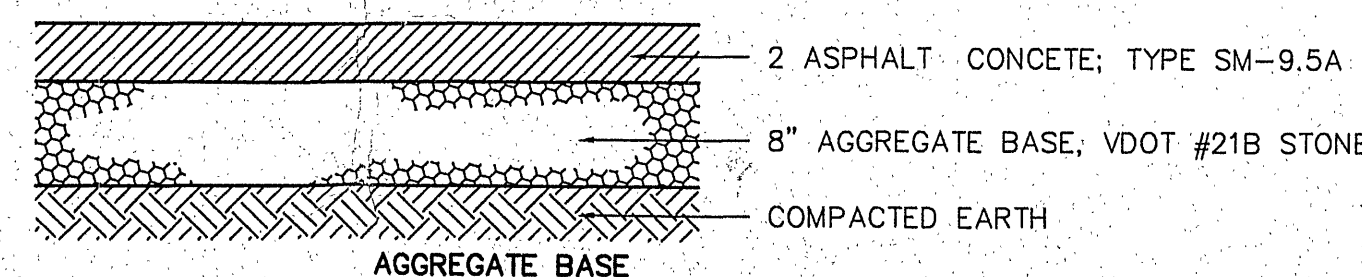
1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE CITY TAX ASSESSMENT PARCEL 1050901.
2. OWNER/DEVELOPER: WESTWIN OF ROANOKE, LLC (ATTN: MR. JAMES E. BODY)
3518 BRAMBLETON AVENUE
ROANOKE, VIRGINIA 24018
3. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY PREPARED BY LUMSDEN ASSOCIATES, P.C.
4. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C.
5. NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
6. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY CITY WATER AND SEWER.
7. THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PRIVATE ROADS.
8. NO PORTION OF THIS SITE LIES WITHIN THE 100 YEAR FLOOD PLANE. FIRM # 51161C0048 C, OCT. 15, 1993.

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. ALL WATER AND SEWER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY ROANOKE CITY UTILITY DEPARTMENT.
7. SEE 2001 VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
8. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
9. FOR PAVEMENT OVERLAY DETAILS AND SPECIFICATIONS CONTACT: CITY OF ROANOKE ENGINEERING DEPARTMENT.

GRADING NOTES:

1. ALL AREAS TO BE GRADED SHALL BE STRIPPED OF PAVEMENT AND ORGANIC MATTER. ALL MATERIAL NOT SUITED FOR USE AS FILL MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
2. ANY BORROW OR WASTE STEALIST HAVE AN APPROVED EROSION AND SEDIMENT CONTROL PLAN PRIOR TO CONSTRUCTION.
3. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
4. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 8 INCH LIFTS TO 95% MINIMUM DENSITY, STANDARD PROCTOR.

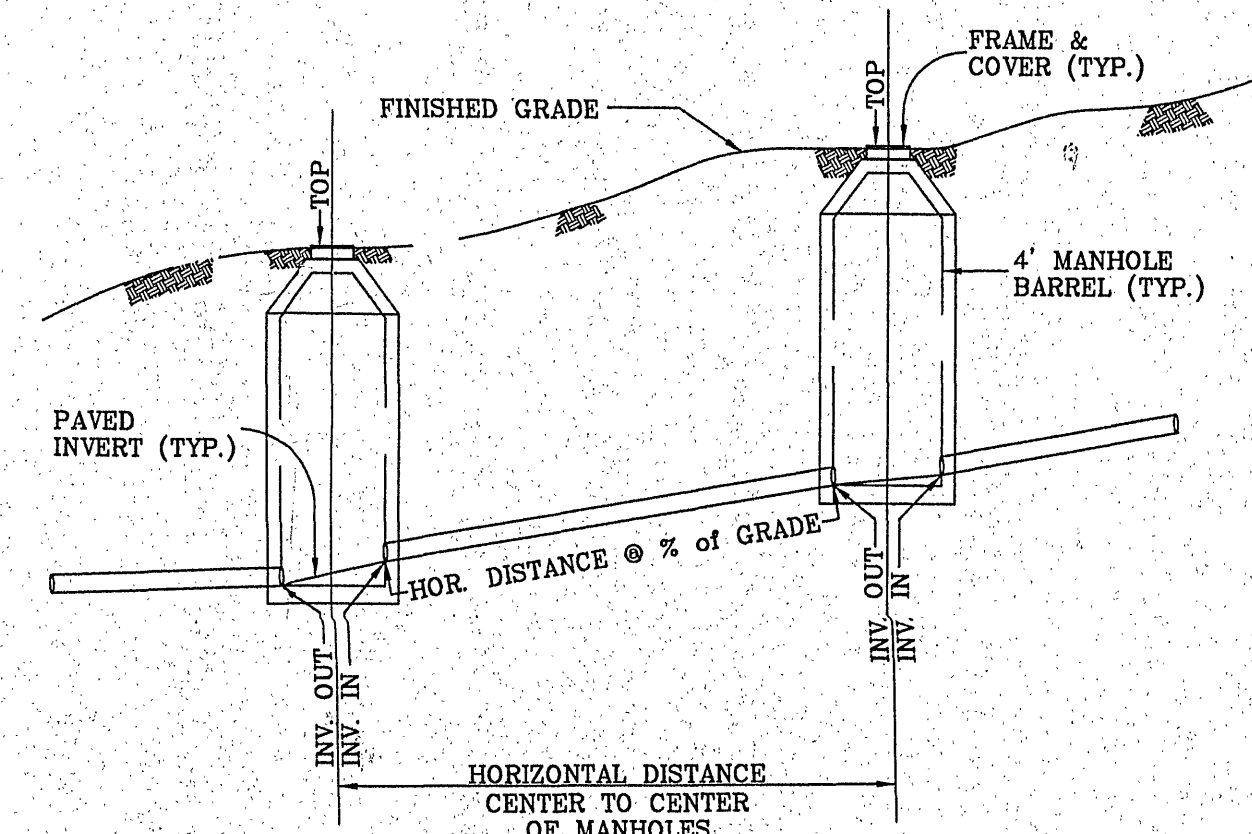


STANDARD PAVEMENT DETAIL

NO SCALE

NOTE:

1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL./SY OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING OF THE SM-9.5A.



SANITARY SEWER HORIZONTAL ANS SLOPE DISTANCE DETAIL

NO SCALE

NOTES & DETAILS

CHERRY HILL TOWNHOMES PREPARED FOR WESTWIN OF ROANOKE, LLC SITUATED IN THE CITY OF ROANOKE, VIRGINIA

NO.	DATE	REVISIONS	DESCRIPTION
1			
2			
3			
4			
5			

DATE: 2 MAY 2003
SCALE: 1" = 20'
COMMISSION NO.: 02-374
CADD FILE: P:\2002\02374\ENG\374COMP
SHEET 3 OF 9