

NOTES:

THIS PLAN DOES NOT GUARANTEE THE LOCATION OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO DETERMINE ACTUAL LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO MOBILIZATION. IF CONFLICTS EXIST, NOTIFY ENGINEER.

BEFORE DIGGING CONTACT "MISS UTILITY" AT 811.

NOTES:

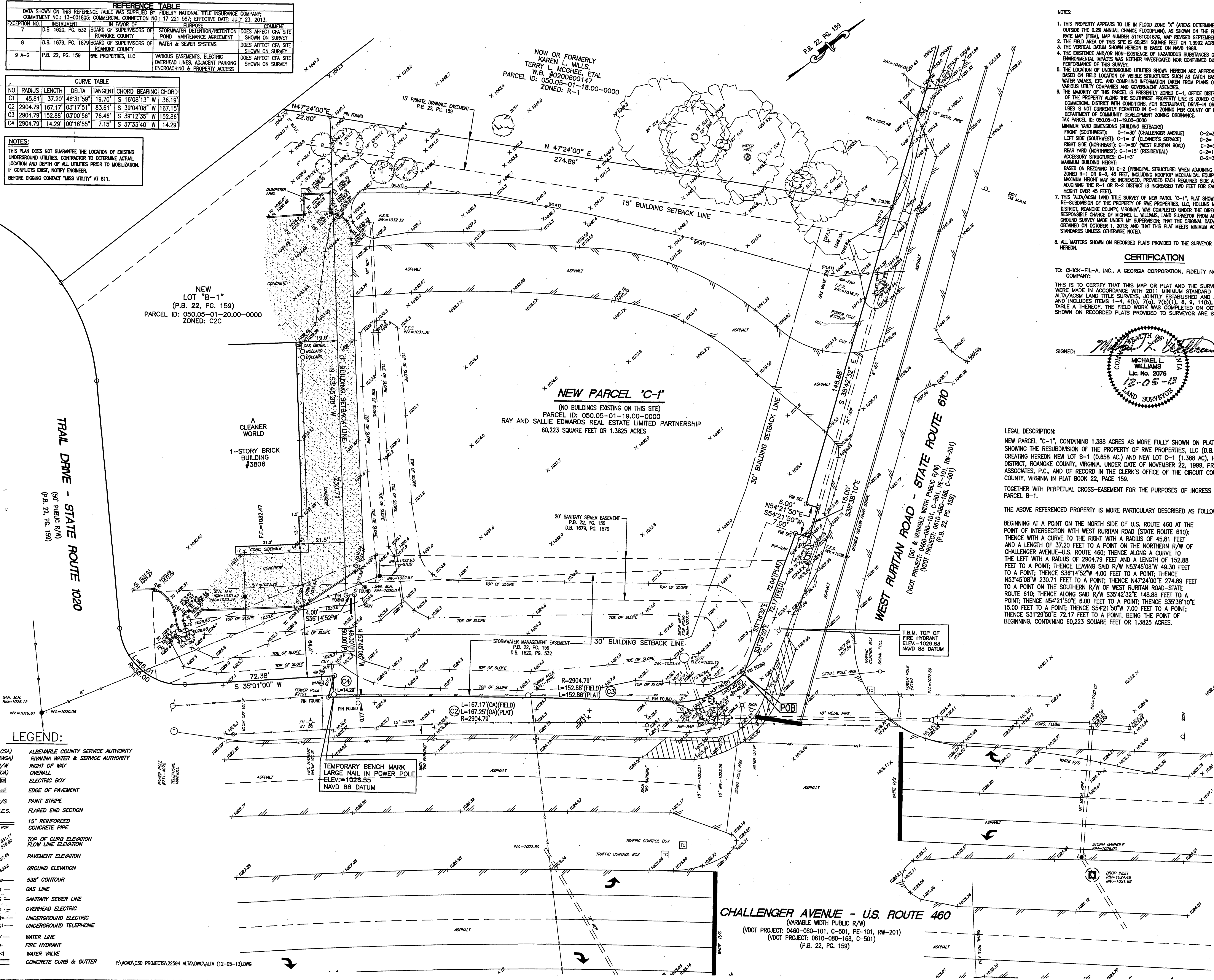
THIS PLAN DOES NOT GUARANTEE THE LOCATION OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO DETERMINE ACTUAL LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO MOBILIZATION. IF CONFLICTS EXIST, NOTIFY ENGINEER.

BEFORE DIGGING CONTACT "MISS UTILITY" AT 811.

NOTES:

THIS PLAN DOES NOT GUARANTEE THE LOCATION OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR TO DETERMINE ACTUAL LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO MOBILIZATION. IF CONFLICTS EXIST, NOTIFY ENGINEER.

BEFORE DIGGING CONTACT "MISS UTILITY" AT 811.



1. THIS PROPERTY APPEARS TO BE IN FLOOD ZONE "Y" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODING), AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 15010101676, MAP REVISED SEPTEMBER 28, 2007.

2. THE FIELD AREA OF THIS SITE IS 80,961 SQUARE FEET OR 1,392.42 ACRES.

3. THE VERTICAL DATUM FOR THIS SURVEY IS BASED ON THE YEAR 1988.

4. THE EXISTENCE AND/OR NON-EXISTENCE OF HAZARDOUS SUBSTANCES OR ANY OTHER ENVIRONMENTAL IMPACTS WAS NOT NECESSARILY INVESTIGATED NOR CONFIRMED DURING THE PREPARATION OF THIS SURVEY.

5. THE LOCATION OF UTILITIES UTILIZED SHOWN HEREON ARE APPROXIMATE AND IS BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC. AND COMPILING INFORMATION TAKEN FROM PLANS OF OTHERS.

6. THE PROPERTY IS LOCATED WITHIN THE COMMUNITY DEVELOPMENT DISTRICT OF ROKANOE, DEPARTMENT OF COMMUNITY DEVELOPMENT ZONING ORDINANCE.

7. TAX PARCEL ID: 05005-01-19.00-000

MINIMUM YARD DIMENSIONS (BUILDING SETBACKS)

FRONT (SOUTHWEST): C-1=30' (CHALLENGER AVENUE)

LEFT SIDE (SOUTHWEST): C-1=0' (CLEANER'S SERVICE)

RIGHT SIDE (NORTHEAST): C-1=30' (WEST RUTLAND ROAD)

REAR YARD (NORTHEAST): C-1=15' (RESIDENTIAL)

NECESSARY STRUCTURE: C-1=15'

MAXIMUM BUILDING HEIGHT:

BASED ON REZONING TO C-2 (PRINCIPAL STRUCTURE: WHEN ADJOINING PROPERTY ZONED R-1 OR R-2, 45 FEET, PROVIDED ROOFTOP MECHANICAL EQUIPMENT, THE MAXIMUM HEIGHT MAY BE 35 FEET, INCLUDING EACH REQUIRED SIDE AND REAR YARD ADJOINING THE R-1 OR R-2 DISTRICT TO EXCEEDED TWO FEET FOR EACH FOOT IN THIS AREA/AS/MS LAND TITLE SURVEY OF PARCEL TWO "C-1", PLAT SHOWING THE RELOCATION OF THE DISTRICT OF CITY UTILITIES, LLC, HOLLINS MAGISTERIAL DISTRICT, ROKANOE COUNTY, MISSISSIPPI WAS COMPLETED UNDER THE RESPONSIBLE CHARGE OF MICHAEL L. WILLIAMS, LAND SURVEYOR FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE ORIGINAL DATA WAS OBTAINED ON OCTOBER 1, 2010; THAT THIS PLAT MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

TO: CHICK-FIL-A, INC., A GEORGIA CORPORATION, FIDELITY NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6(b), 7(a), 7(b)(1), 8, 9, 11(b), 13, 16-18 AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 1, 2013. ALL MATTERS SHOWN ON RECORDED PLATS PROVIDED TO SURVEYOR ARE SHOWN ON THE SURVEY.

LEGAL DESCRIPTION:

NEW PARCEL "C-1", CONTAINING 1.388 ACRES AS MORE FULLY SHOWN ON PLAT ENTITLED, "PLAT SHOWING THE RESUBDIVISION OF THE PROPERTY OF RWE PROPERTIES, LLC (D.B. 1601, PG. 1319), CREATING HEREON NEW LOT B-1 (0.658 AC.) AND NEW LOT C-1 (1.388 AC.), HOLLINS MAGISTERIAL DISTRICT, ROANOKE COUNTY, VIRGINIA, UNDER DATE OF NOVEMBER 22, 1999, PREPARED BY LUMSDEN ASSOCIATES, P.C., AND OF RECORD IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA IN PLAT BOOK 22, PAGE 159.

TOGETHER WITH PERPETUAL CROSS-EASEMENT FOR THE PURPOSES OF INGRESS AND EGRESS TO NEW
PARCEL B-1.

THE ABOVE REFERENCED PROPERTY IS MORE PARTICULARY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH SIDE OF U.S. ROUTE 460 AT THE POINT OF INTERSECTION WITH WEST RURITAN ROAD (STATE ROUTE 610); THENCE WITH A CURVE TO THE RIGHT WITH A RADIUS OF 45.8 FEET AND A LENGTH OF 37.20 FEET TO A POINT ON THE NORTHERN R/W OF CHALLENGER AVENUE—U.S. ROUTE 460; THENCE ALONG A CURVE TO THE LEFT WITH A RADIUS OF 2904.79 FEET AND A LENGTH OF 152.88 FEET TO A POINT; THENCE LEAVING SAID R/W N53°45'08"W 49.30 FEET TO A POINT; THENCE S36°14'52"W 4.00 FEET TO A POINT; THENCE N53°05'08"W 230.71 FEET TO A POINT; THENCE N47°24'00"E 274.89 FEET TO A POINT ON THE SOUTHERN R/W OF WEST RURITAN ROAD—STATE ROUTE 610; THENCE ALONG SAID ROAD S48°18'58"W 149.88 FEET TO A POINT; THENCE N54°21'50"E 6.00 FEET TO A POINT; THENCE S54°21'50"E 15.00 FEET TO A POINT; THENCE S54°21'50"W 7.00 FEET TO A POINT; THENCE S31°29'50"E 72.17 FEET TO A POINT, BEING THE POINT OF BEGINNING, CONTAINING 60,223 SQUARE FEET OR 1.3825 ACRES.

UTILITY CONTACTS:

TRAFFIC ENGINEERING
AGENCY: VIRGINIA DEPARTMENT OF TRANSPORTATION
ADDRESS: 714 BROAD ST, P.O. BOX 3071' SALEM, VA 24153
CONTACT: BRIAN BLEVINS
PHONE: (757) 387-5502
CELL: (540) 491-3774
EMAIL: BRIAN.BLEVINS@VDOT.VIRGINIA.GOV

SANITARY SEWER & WATER

AGENCY: WESTERN VIRGINIA WATER AUTHORITY
ADDRESS: 601 S. JEFFERSON ST., SUITE 300, ROANOKE, VA 24011
CONTACT: DAVID VOGELSONG
PHONE: (540) 853-6688
FAX: (540) 853-1017
EMAIL: DAVID.VOGELSONG@WESTERNVAWATER.ORG

STORM DRAINAGE & EROSION CONTROL

AGENCY: CITY OF ROANOKE DEPT. OF COMMUNITY DEVELOPMENT
ADDRESS: 5204 BERNARD DR., SW, P.O. BOX 26800, ROANOKE VA 24018
CONTACT: ROBERT K. ATKINSON
PHONE: (540) 772-2065, EXT. 291
FAX: (540) 776-7155
EMAIL: BATKINSON@ROANOKECOUNTYVA.GOV

GAS UTILITY

AGENCY: ROANOKE GAS COMPANY
ADDRESS: 519 KIMBALL AVENUE, ROANOKE, VIRGINIA
CONTACT: BRETT BENNETT
PHONE: (540) 793-5104
EMAIL: BRETT_BENNETT@ROANOKEGAS.COM

ELECTRIC

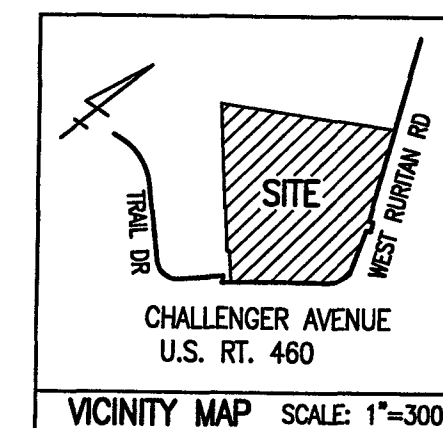
AGENCY: AMERICAN ELECTRIC POWER
ADDRESS: 802 RIVER AVENUE, ROANOKE, VA 24002
CONTACT: J.R. BAILEY
PHONE: (540) 521-1343
EMAIL: KL.BAILEY@AEP.COM

TELEPHONE AND INTERNET SERVICE

AGENCY: VERIZON
ADDRESS: 4843 OAKLAND BLVD., ROANOKE, VA 24012
CONTACT: RODNEY G. PRICE
PHONE: (540) 265-7578
EMAIL: RODNEY.G.PRICE@VERIZON.COM

CABLE

AGENCY: COX COMMUNICATIONS
ADDRESS: NOT IDENTIFIED AT THIS TIME
CONTACT: MS. ANARIZA FIGUEROA
PHONE: (757) 369-4359



HORTON & DODD, P.C.

STORE: #03375
CHALLENGER
AVENUE FSU

814 CHALLENGER AVE.
(U.S. ROUTE 460)
ROANOKE COUNTY, VA
SCALE: 1"=20'

ALTA/ACSM
LAND TITLE SURVEY
OF
NEW PARCEL "C-1"
PLAT SHOWING THE
RE-SUBDIVISION OF
THE PROPERTY OF
WE PROPERTIES, LLC

Job No. : 22594
Store : #03375
Date : 10/01/13
Drawn By : DDR/MLW
Checked By: MLW

Sheet

1 OF 1

