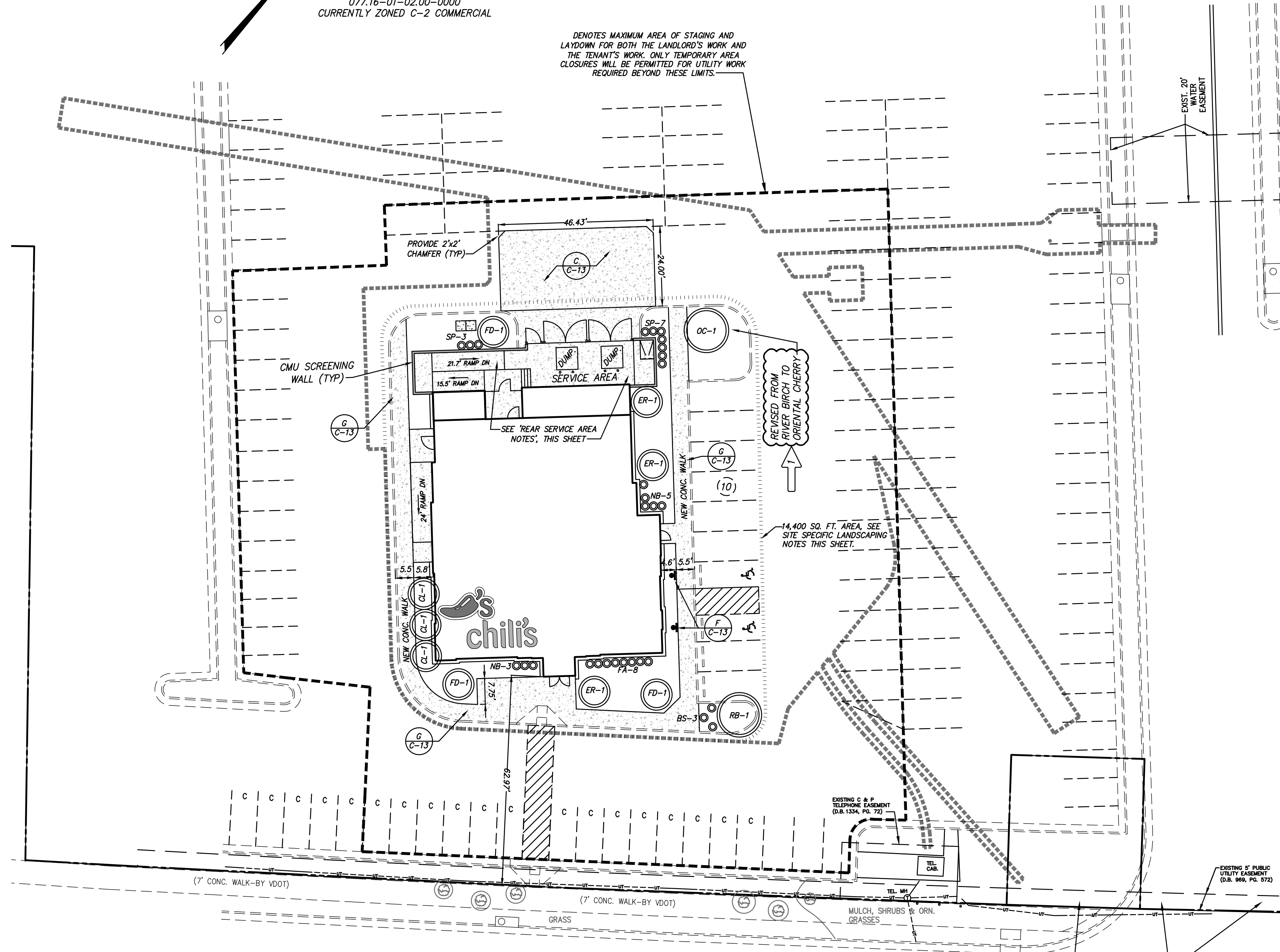


PROPERTY OF
TANGLEWOOD VENTURE LLC
ROANOKE COUNTY TAX PARCEL
077.16-01-02.00-0000
CURRENTLY ZONED C-2 COMMERCIAL

DEVOTES MAXIMUM AREA OF STAGING AND
LAYDOWN FOR BOTH THE LANDLORD'S WORK AND
THE TENANT'S WORK. ONLY TEMPORARY AREA
CLOSURES WILL BE PERMITTED FOR UTILITY WORK
REQUIRED BEYOND THESE LIMITS.



ELECTRIC ROAD
(VA RTE. 419)(PUBLIC)
VARIABLE R/W

PROPERTY OF
TANGLEWOOD VENTURE LLC
ROANOKE COUNTY TAX PARCEL
077.20-03-01.01-0000
CURRENTLY ZONED C-2 COMMERCIAL

MALL ENTRANCE DRIVE AT
SIGNALLED INTERSECTION
OF ELECTRIC ROAD (RTE.
419) AND ELM VIEW RD.

GENERAL LANDSCAPING NOTES

- ALL LANDSCAPE PLANTINGS SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- ALL LANDSCAPE PLANTINGS SHALL CONFORM TO STANDARDIZED PLANT NAME AND SHALL BE WELL-FORMED, TRUE TO TYPE AND HAVE WELL-DEVELOPED ROOT SYSTEMS. ALL PLANTINGS SHALL BE SOUND, HEALTHY, AND FREE FROM DEFECTS.
- ALL PLANTING SHALL BE DONE DURING THE PROPER SEASON AND NO PLANTING SHALL BE DONE IN FROZEN SOIL OR DURING UNFAVORABLE WEATHER CONDITIONS.
- ALL TREES ARE TO BE LOCATED WITH RESPECT TO EXISTING OR PROPOSED UTILITIES.
- MULCH ALL PLANTINGS WITH A MINIMUM OF THREE INCHES OF SHREDDED OR CHIPPED MULCH.
- ADJUSTMENTS MAY BE NECESSARY DUE TO PLANT AVAILABILITY.
- DUE TO ON-SITE CONDITIONS, IN-FIELD ADJUSTMENTS MAY BE NECESSARY.
- ALL PLANTING OF TREES, SHRUBS, ETC. SHALL BE DONE IN ACCORDANCE WITH VDOT ROAD AND BRIDGE SPECIFICATIONS, SECTION 605, AND DETAIL 'R' / C-16.

SITE SPECIFIC LANDSCAPING NOTES

ADDITIONAL BEAUTIFICATION PLANTINGS ARE ENCOURAGED, AND ALLOWED 'AT WILL', SO LONG AS VEHICULAR SIGHT DISTANCES ARE NOT IMPAIRED AND VISIBILITY / ACCESS TO FIRE DEPT. CONNECTIONS AND FIRE HYDRANTS ARE MAINTAINED.

IN ROANOKE COUNTY IT IS REQUIRED TO PROVIDE A MINIMUM 35% CANOPY COVERAGE FOR THE DISTURBED AREA. THROUGH CONVERSATIONS WITH THE ROANOKE COUNTY PLANNING & ZONING DEPARTMENT, IT HAS BEEN DECIDED THAT AREAS OF EXISTING PAVEMENT THAT ARE ONLY BEING DISTURBED FOR UTILITY CONSTRUCTION, AND WILL BE RE-PAVED, DO NOT COUNT TOWARDS THE AREA OF REQUIRED CANOPY, EXCLUDING THESE AREAS AND ONLY CONSIDERING THE ACTUAL AREA OF REDEVELOPMENT (CURB-LINE IN), THE ASSOCIATED AREA IS 14,400 SQ. FT. THEREFORE THE REQUIRED CANOPY COVERAGE IS (14,400 SF X 35% = 5,040 SF), WITH SHRUBS PROVIDING NO GREATER THAN 25% OF THE REQUIRED CANOPY.

ALL GROUND LEVEL AND ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED PER SECTION 30-92-5 OF THE ROANOKE COUNTY ZONING ORDINANCE. FOR THIS PARTICULAR PROJECT, ALL MECHANICAL EQUIPMENT IS ROOFTOP MOUNTED, SEE BUILDING PLANS FOR SCREENING.

NO PLANTINGS SHALL BE PLACED WITHIN 4 FEET OF A FIRE HYDRANT. NO PLANTINGS SHALL BE PLACED WITHIN 3 FEET OF THE POST INDICATOR VALVE (PIV) OR THE FIRE DEPARTMENT CONNECTION (FDC) STANDPIPE.

PLANTING LIST - CODE COMPLIANCE ONLY

KEY	COMMON NAME	LATIN NAME	QTY	SIZE @ PLANTING	CANOPY PROVIDED
(LARGE DECIDUOUS TREES)					
RB	RIVER BIRCH	Betula Nigra	1	2" min. cal.	1,250 SF
OC	ORIENTAL CHERRY	Prunus Serrulata	1	2" min. cal.	1,250 SF
(SMALL DECIDUOUS TREES)					
ER	EASTERN REDBUD	Cercis Canadensis	3	1-1/2" min. cal.	750 SF
FD	FLOWERING DOGWOOD	Cornus Florida	3	1-1/2" min. cal.	750 SF
CL	COMMON LILAC	Syringa Vulgaris	3	1-1/2" min. cal.	750 SF
(LARGE SHRUBS)					
FA	FLAME AZALEA	Rhododendron Calendulaceum	8	24" min. ht.	80 SF
BS	BRIDLEWEATH SPIREA	Spiraea Prunifolia	3	24" min. ht.	30 SF
SP	SKY PENNOL HOLLY	Ilex Crenata	10	24" min. ht.	100 SF
NB	NINEBARK	Physocarpus Opulifolius	8	24" min. ht.	80 SF
TOTAL CANOPY PROVIDED					5,040 SF

DIMENSIONAL NOTES

DIMENSIONS SHOWN ARE TO FACE OF CURB, EDGE OF PAVEMENT, EDGE OF SIDEWALK OR FACE OF BUILDING. COORDINATE BUILDING DIMENSIONS WITH BUILDING PLANS.

PAVEMENT MARKINGS

ALL PARKING STALLS SHALL BE DELINEATED USING STANDARD TRAFFIC PAINT, WITH LINES 4" WIDE. STALLS SHALL BE OF DIMENSIONS SHOWN. WHERE NEW OFF-SITE UTILITY EXTENSIONS AFFECT EXISTING PAVEMENT MARKINGS, SUCH MARKINGS SHALL BE REPLACED TO MATCH EXISTING IN SIZE, COLOR AND SHAPE.

STANDARD PARKING STALLS AND DIRECTIONAL LANE ARROWS SHALL BE MARKED WITH WHITE PAINT

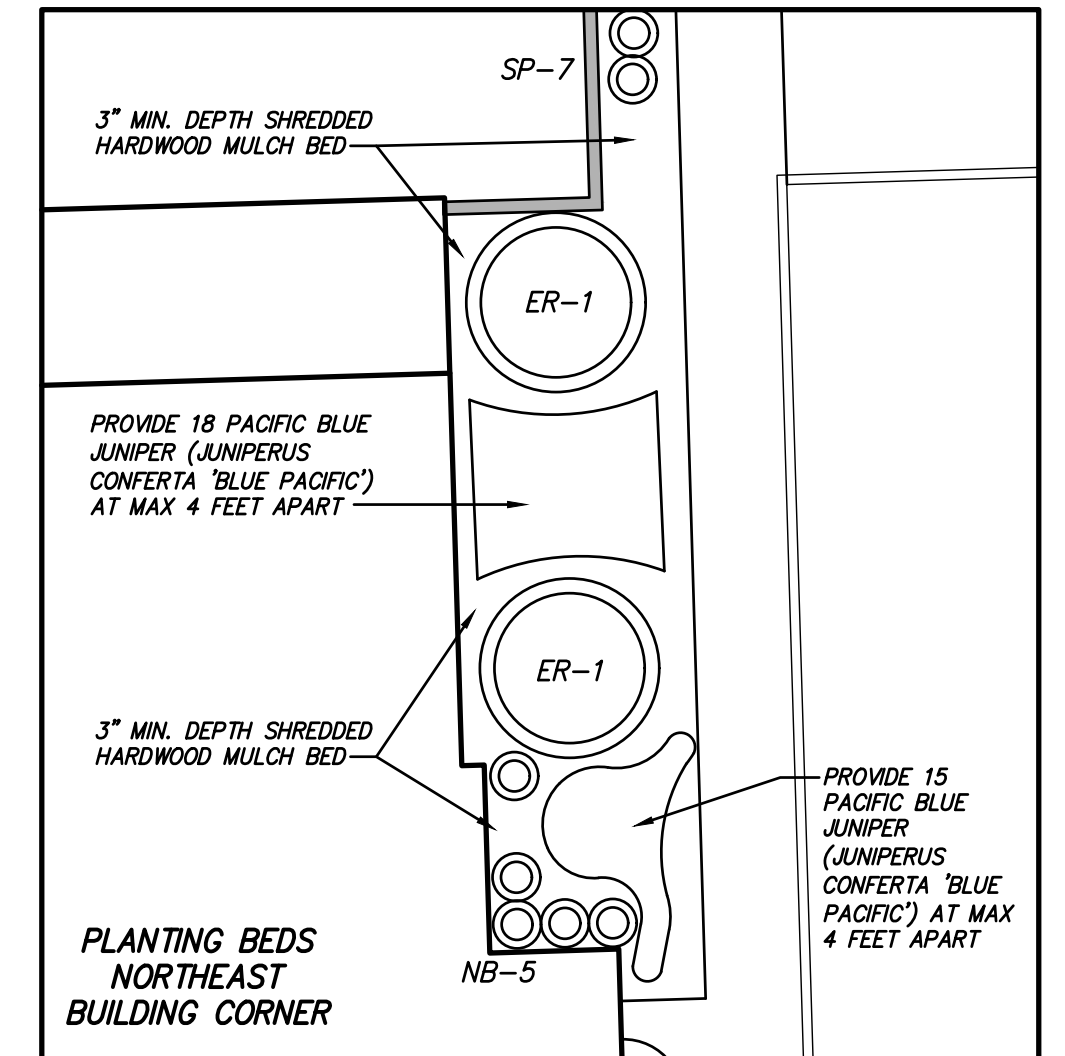
ADA PARKING STALLS SHALL BE MARKED WITH BLUE PAINT, INCLUDING THE ADA ACCESSIBILITY STANDARD SYMBOL, SIZED PER ADA REQUIREMENTS. ADA STALLS SHALL BE PROVIDED WITH POST-MOUNTED SIGNAGE, SEE APPLICABLE DETAIL, SHEET C-13.

PARKING STALLS AROUND THE OUTER PERIMETER OF THE PROJECT AREA ARE BEING REPLACED TO MATCH EXISTING STALL SIZES, FOLLOWING PLACEMENT OF NEW PAVEMENT.

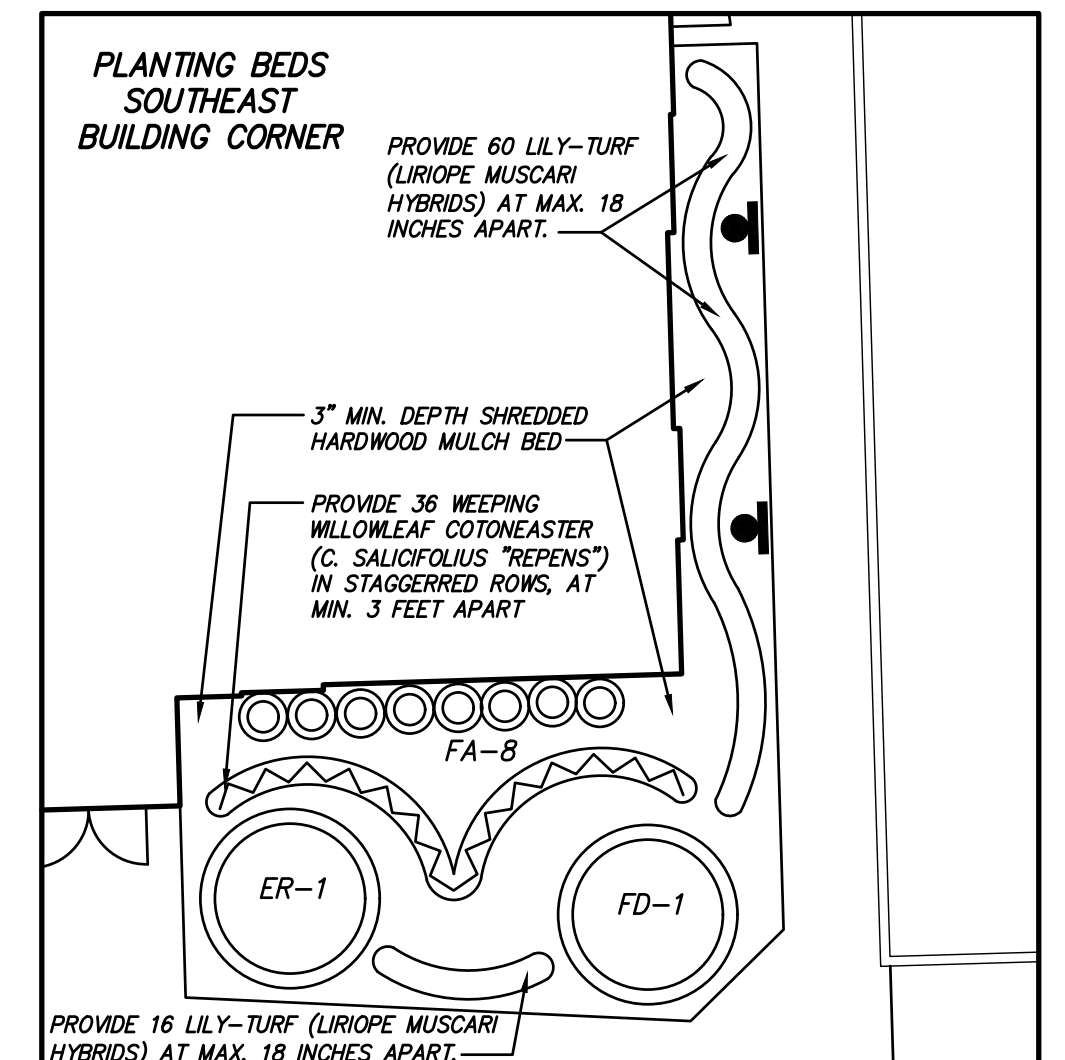
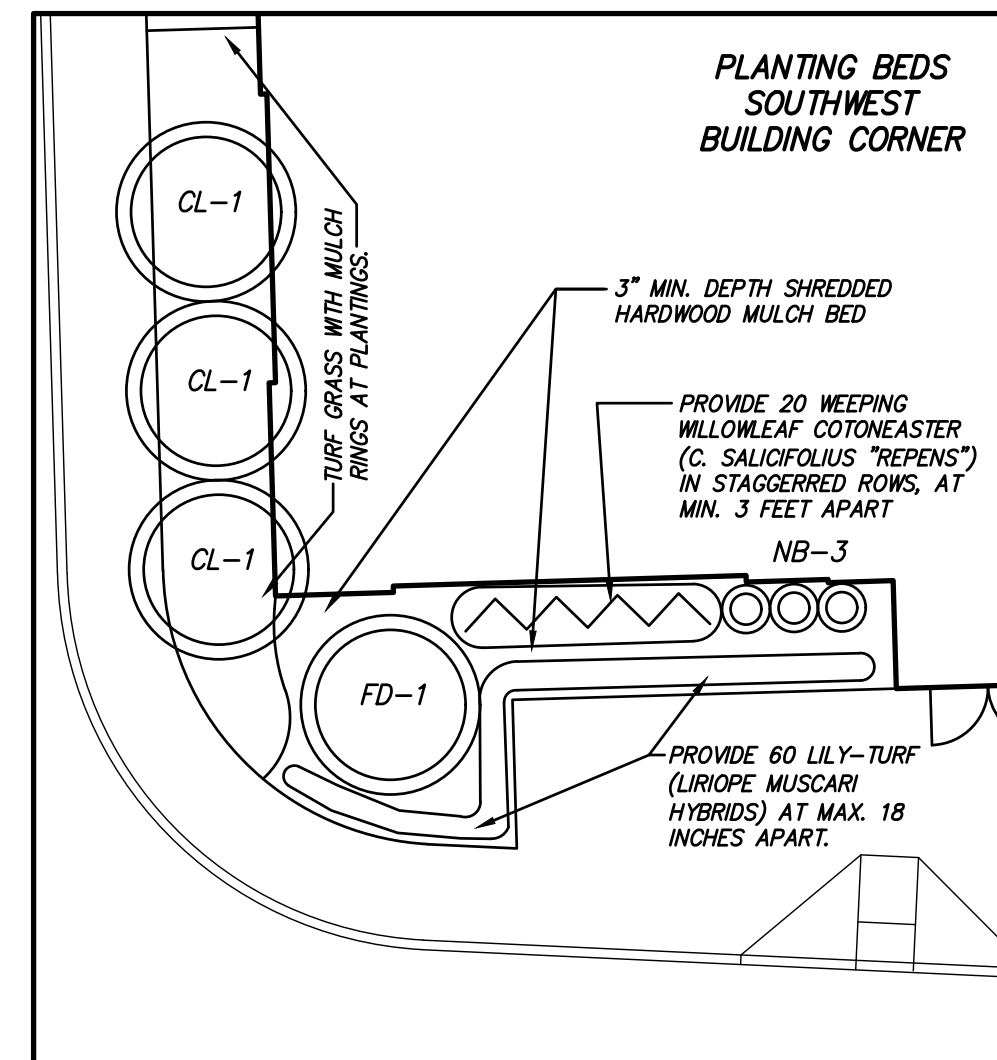
REAR SERVICE AREA NOTES

REAR SERVICE AREA IS ENTIRELY THE RESPONSIBILITY OF THE TENANT'S CONTRACTOR, OTHER THAN PAVEMENT DEMOLITION AND ROUGH GRADING, SEE ARCHITECTURAL SHEETS FOR LAYOUT OF ALL IMPROVEMENTS WITHIN NEW SCREENING GATES AND SCREENING WALLS. DETAIL 'L' / C-13 OF THESE PLANS REPRODUCES SCREENING WALL AND GATE ELEVATION FOR MUNICIPAL REVIEW PURPOSES.

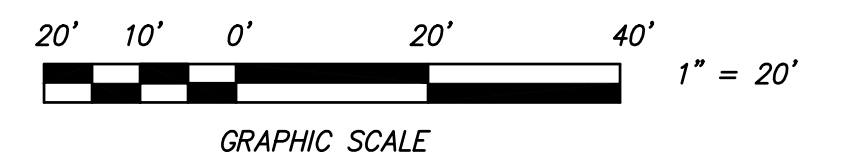
NEW 46.43' x 24.0' CONCRETE APRON LOCATED NORTH OF REAR SERVICE AREA IS THE RESPONSIBILITY OF THE TENANT'S CONTRACTOR, OTHER THAN PAVEMENT REMOVAL, WHICH IS BY LANDLORD'S CONTRACTOR.



BEAUTIFICATION PLANTINGS AND BEDS SHOWN HERE ARE IN ADDITION TO THE CODE REQUIRED PLANTINGS



ALL LANDSCAPING ASSOCIATED WITH THIS PROJECT IS
THE RESPONSIBILITY OF THE TENANT'S CONTRACTOR.



	TENANT WORK-DIMENSIONAL LAYOUT AND LANDSCAPING PLAN FOR
	PROPOSED CHILI'S RESTAURANT
	TO BE CONSTRUCTED AT TANGLEWOOD MALL
	PREPARED FOR BRINKER INTERNATIONAL LLC & TANGLEWOOD VENTURE LLC
	SITUATE ELECTRIC ROAD (VA ROUTE 419) CAVE SPRING MAGISTERIAL DISTRICT COUNTY OF ROANOKE, VIRGINIA
Designed: C.L. White	
Drawn: C.L. White	
Checked: C.L. White	
Date: October 27, 2021	
Scale: 1" = 20'	
Tax Parcel: 077.16-01-02.00-0000	4203 MELROSE AVENUE P.O. BOX 6260 ROANOKE, VIRGINIA 24017-0260 (540) 366-3400 FAX: (540) 366-8702
Field Book: CH-22	
W.O. No.: 21-0043/0084/0123	

REVISED DECEMBER 13, 2021 PER FIRST MUNICIPAL REVIEW - C.L. White