

SITE STATISTICS:

Tax Parcel Number: 2013012, Being Lot 1 (M.B. 1, PG. 2168)
Parcel Total Area: 0.363 Acres
Zone: RPUD, Residential Planned Unit Development District
Proposed Use: Education and Assembly Facility
Building Area:
Maximum Building Height:
Required Parking Spaces: 0
Proposed Parking Spaces: 0
Building Setbacks:
Front: 0
Side: 0
Rear: 0
Open Space:
Water: Western Virginia Water Authority
Sewer: Western Virginia Water Authority

SITE DEVELOPMENT PLANS FOR ROANOKE HIGHER EDUCATION CENTER CLAUDE MOORE EDUCATION COMPLEX CULINARY ARTS BUILDING CITY OF ROANOKE, VA March 21, 2006

LEGEND:

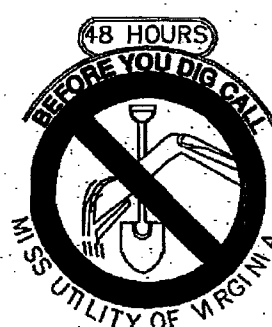
	CONCRETE		TYPICAL YARD HYDRANT		EX. POWER POLE
	ASPHALT PAVING		PROP. FIRE HYDRANT		EX. TELEPHONE
	PAVEMENT REPLACEMENT		PROP. AIR RELEASE VALVE		EX. TELEPHONE PEDESTAL
	GRAVEL		PROP. GATE VALVE		EX. LIGHT POLE
	PAVERS		PROP. BLOW OFF VALVE		BENCHMARK
	WETLAND AREA				
	SURVEYED PROPERTY LINE		PROP. TELEPHONE LINE		
	PROPOSED PROPERTY LINE		PROP. GAS LINE		
	DEED PROPERTY LINE		PROP. SANITARY SEWER LINE		
	OHE		PROP. STORM SEWER LINE		
	W		PROP. CONTOURS		
	C		EXST. 2' CONTOURS		
	EXST. CENTERLINE OF ROAD		EXST. 10' CONTOURS		
	EXST. STORM SEWER		PROP. SPOT ELEVATION		
	EXST. SANITARY SEWER		SILT FENCE		
	PROP. UNDERGROUND ELEC. LINE		PROP. TREE LINE		
	UG		RESOURCE MANAGEMENT AREA BOUNDARY		
	W		RESOURCE PROTECTION AREA BOUNDARY		
	A		DITCH LINE		
	EXST. TREE LINE				
	EXST. EDGE OF PAVEMENT				

GENERAL NOTES:

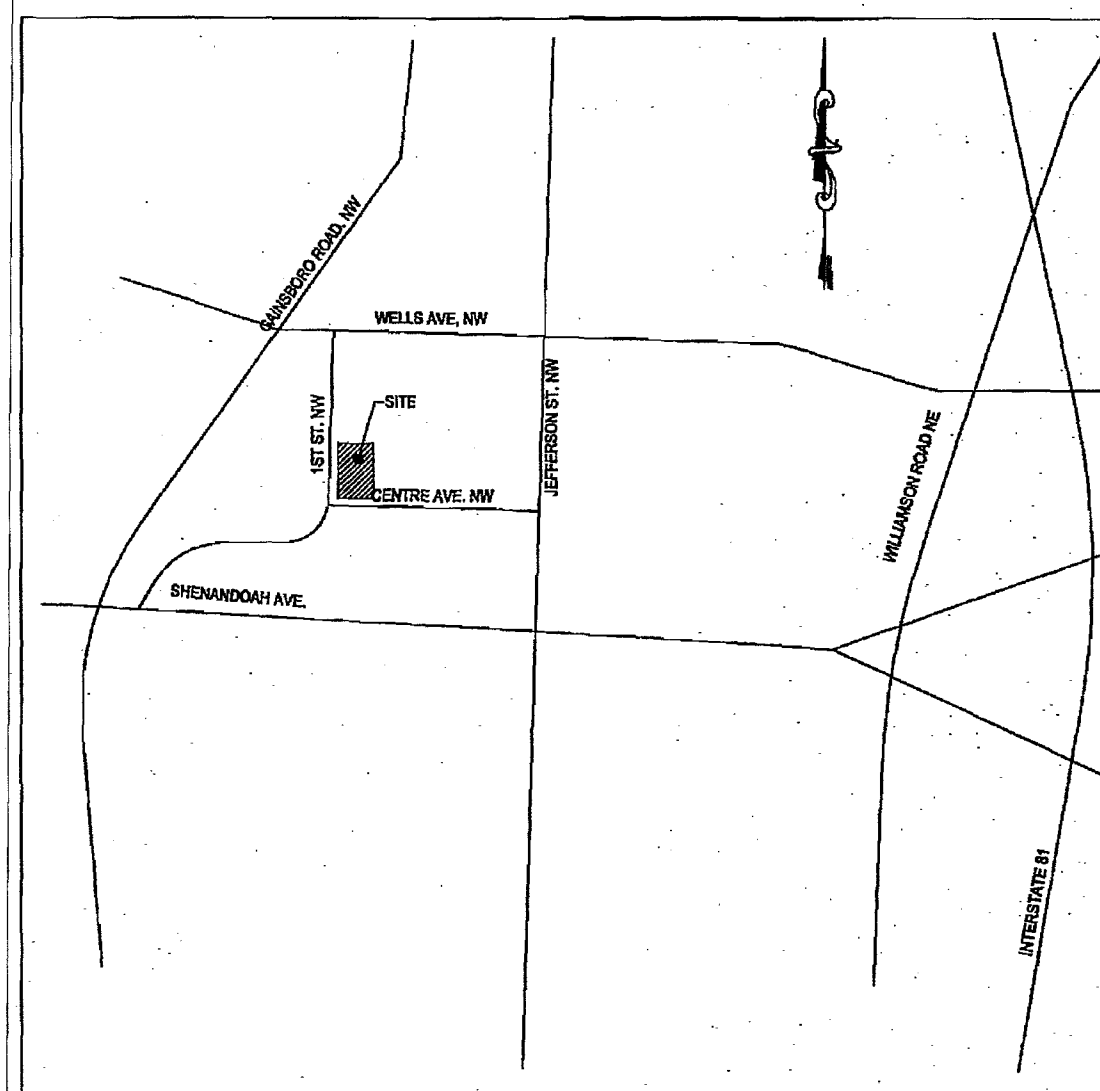
- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ± 2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 58.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- All construction will be in accordance with City of Roanoke standards and specifications. Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Contractor shall coordinate installation of permanent electrical service, telephone service, gas and cable TV. These utility lines shall be underground.
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
- Distances and radii referred to are to the edge of pavement, unless otherwise noted.
- Rights-of-way, lot lines, and easements are dedicated on plots separate from these plans.
- All utilities shall be underground installation.
- All utilities will be visually inspected by the Western Virginia Water Authority's (WVWA) and/or City's Inspector prior to backfilling the trenches, including all utility crossings.
- Backflow preventers to be provided in accordance with the WVWA standards on all sprinkler system laterals. Site contractor shall coordinate with building contractor with regards to the location. If backflow preventers are not installed inside building mechanical room, they shall be installed prior to entering building.
- Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing City of Roanoke mapping.
- All utilities to be maintained by the WVWA shall be within the dedicated rights-of-way or easements.
- A field review shall be made by the WVWA and/or City of Roanoke during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the Owner shall install additional measures as determined and required by the WVWA and/or City of Roanoke.
- The maximum candle value of all interior lighting shall fall within the building (not out through windows) and the maximum candle value for all exterior lighting shall fall within the property. Any luminaire within a distance of 2.5 times its mounting height from the property boundary shall have a shielding such that no light from the luminaire crosses the property boundary.
- Dumpster pads are provided for garbage collection.
- Proposed signage shall be permitted separately in accordance with the City of Roanoke regulations.
- The contractor or developer is required to notify the WVWA and/or the City in writing at least three (3) days prior to any construction, including, but not limited to the following:
 - Installation of approved erosion control devices
 - Clearing and grubbing
 - Subgrade excavation
 - Installing storm sewers or culverts
 - Placing gravel base
 - Placing any roadway surface
 - Installing water lines
 - Installing sanitary sewer lines
- A pre-construction conference should be scheduled with the WVWA and the City, to be held at least 48 hrs prior to any construction.
- Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site.
- Field construction shall honor proposed drainage divides as shown on plans.
- All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
- Pavement sections on approved plans are based on a minimum CBR of 5. CBR tests are to be completed and submitted to V.D.O.T. and to the City of Roanoke Engineering Department prior to placement. CBR values < 5 will require revised pavement sections. Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.
- Divert construction, demolition and land clearing debris from landfill disposal. Recycle and/or salvage no less than 50% of all construction, demolition and land clearing waste. Abide by the construction waste management plan that identifies proposed deconstruction and salvage opportunities, on-site processing and reuse opportunities, recommended recycling activities, licensed haulers and processors of recyclables, and potential markets for salvaged materials.
- It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
- The developer or contractor shall supply the City of Roanoke with correct As-Built plans before final acceptance.
- Field corrections shall be approved by the City of Roanoke Engineering Department prior to such construction.
- 100 year floodway and floodplain information shall be shown where applicable.
- Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer.

I, _____, IDENTIFY _____ AS
THE INDIVIDUAL IN CHARGE OF AND RESPONSIBLE FOR LAND
DISTURBING ACTIVITIES ASSOCIATED WITH THIS EROSION AND
SEDIMENT CONTROL PLAN. I HEREBY AGREE TO NOTIFY THE
PLANNING AND ENGINEERING DEPARTMENT IN WRITING SHOULD I
TRANSFER THE RESPONSIBILITY TO ANOTHER CERTIFIED INDIVIDUAL
BEFORE COMPLETION OF THE PROJECT AND THE RELEASE OF TE
EROSION AND SEDIMENT CONTROL SECURITY.

Miss Utility of Virginia
204 RIVERS BEND BOULEVARD
CHESTER, VIRGINIA 23831



BEFORE YOU DIG ANYWHERE IN
VIRGINIA! CALL 1-800-552-7001
VA LAW REQUIRES 48 HOURS
NOTICE BEFORE YOU EXCAVATE.



VICINITY MAP

N.T.S.

OWNER'S STATEMENT:

LOCAL APPROVALS:

CONTACT INFORMATION:

Engineer: PARKER DESIGN GROUP, PC
816 BOULEVARD
Salem, Virginia 24153
Phone: 540-387-1153
Fax: 540-389-5767
Contact: Clay Grogan, CLA

Surveyor: Lumsden Associates, PC
4664 Brambleton Avenue, SW
P.O. Box 20669
Roanoke, Virginia 24018
Phone: 540-774-4411

Owner/Developer: Henry Street Partners
108 N. Jefferson Street
Roanoke, Virginia 24016
Phone: 540-767-6007
Contact: Tom McKeon, Executive Director

SHEET INDEX:

C01 CIVIL COVER SHEET
C02 EXISTING CONDITIONS & RENOVATION PLAN
C03 LAYOUT & UTILITY PLAN
C04 EROSION & SEDIMENT CONTROL PLAN
L01 LANDSCAPE PLAN & DETAILS

SmithLewis
ARCHITECTURE

18 W. Kirk Avenue SW
Roanoke, VA 24011
540 343 5500
540 343 2003

STAENGL
ENGINEERING

300 W Main Street, Suite 302
Charlottesville, VA 22903
434 295 8105
434 298 5557

MANN & ASSOCIATES, INC.

306 Market Street
Roanoke, Virginia 24011
Voice: 540 344 5513
Fax: 540 343 0235



PARKER DESIGN GROUP, PC
ENGINEERS PLANNERS SURVEYORS

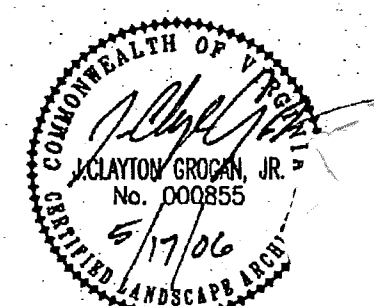
816 Boulevard
Salem, Virginia 24153
Phone: 540.387.1153
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RMS
RMS ENGINEERING LLC

1288 West Riverside Drive
Salem, Virginia 24153
(540) 576-2760 (tel)
(540) 576-4761 (fax)
www.rms-engineering.com

DAY & KINDER
CONSULTING
ENGINEERS, PLLC

P.O. BOX 20187
3239 ELECTRIC ROAD, BUILDING C
ROANOKE, VIRGINIA 24018
PHONE: 540 774-5706
FAX: 540 772-3266
COMM. NO. 05-062



FINAL CONSTRUCTION
DOCUMENTS

Claude Moore
Education Complex
First Street
Roanoke, VA 24011

CIVIL COVER SHEET

PROJECT NUMBER: 051011
ISSUED: 05-17-06
DRAWN BY: JCG
CHECKED BY: GL
FILENAME: D:\G\N\505002-0

C01