

ABBREV.	DESCRIPTION
B.M.	Benchmark
B.W.L.	Broken White Line
C.I.	Curb Inlet
D.Y.L.	Double Yellow Line
D.	Drop Inlet
D.P.	Iron Ductile Pipe
F.F.	Finished Floor Elevation
P.V.C.	Polyvinyl Chloride Pipe
R.C.P.	Reinforced Concrete Pipe
S.S.M.	Sanitary Sewer Manhole
T.C.P.	Terra Cotta Pipe
U.E.	Underground Electric
U.G.	Underground Gas Line
U.T.	Underground Telephone
W.	Waterline

SYMBOL LEGEND	
	Existing Property Monument
	Property Corner
	Property Line
	Sign
	Handi-Cap
	Bollard
	Tree
	Gas Meter
	Gas Valve
	Water Meter
	Water Manhole
	Water Spigot
	Fire Hydrant
	Fire Department Connection
	Water Valve
	Sanitary Sewer Manhole
	Sanitary Sewer Cleanout
	Storm Drainage Manhole
	Telephone Manhole
	Telephone Vault
	Electric Manhole
	Electric Transformer
	Light Pole / Street Light
	Yard Light
	Benchmark (Set)

This Topographic Survey was completed under the direct and responsible charge of,
Timothy Hoelzle, LS #1754 from an actual Ground survey made under my supervision; that
the imagery and/or original data was obtained April 2015; and that this plat, map, or digital geospatial data including metadata meets minimum accuracy standards unless otherwise noted.

Notes:

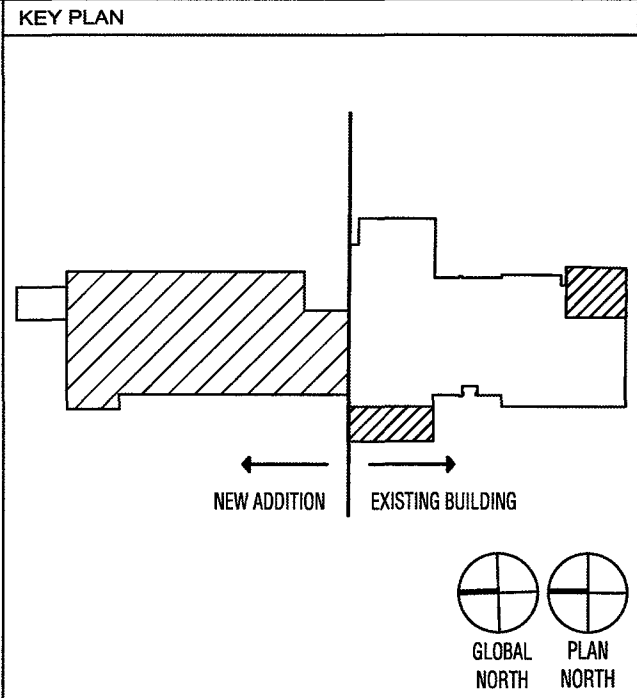
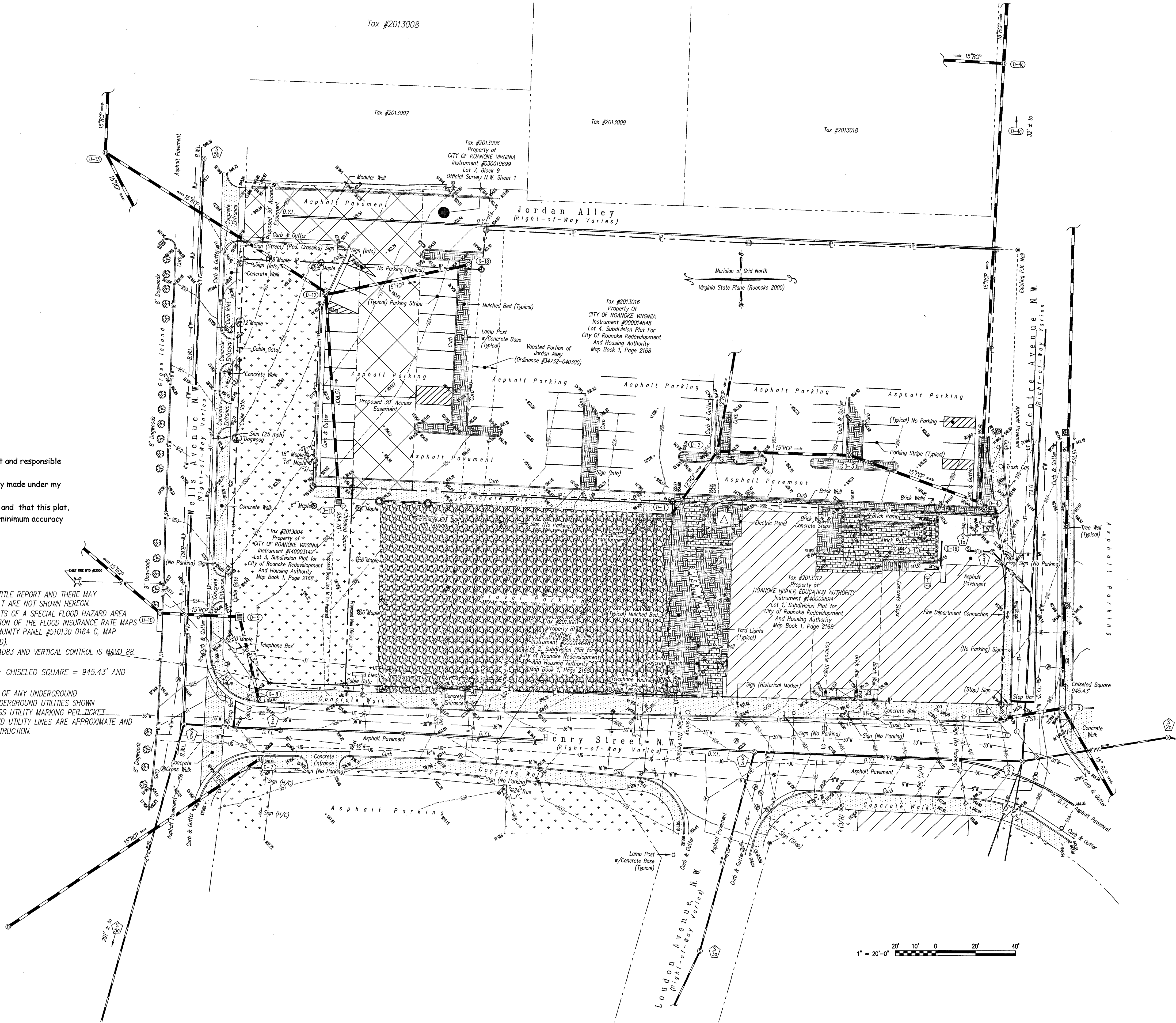
- 1) THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
- 2) THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH EFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.
- 3) THIS PROPERTY AS SHOWN HEREON DOES NOT LIE WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS, SEE COMMUNITY PANEL #510130 0164 G, MAP #51161C0164G, DATED: SEPTEMBER 28, 2007. ZONE "X" (unSHADED).
- 4) THE HORIZONTAL CONTROL IS BASED ON VIRGINIA SOUTH ZONE, NAD83 AND VERTICAL CONTROL IS NAVD 88.
- 5) CONTOURS AS SHOWN HEREON ARE AT 1-FOOT INTERVALS.
- 6) BENCHMARKS SET ON STORM DRAINAGE STRUCTURES "D-5"; CHISELED SQUARE = 945.43' AND "D-11"; CHISELED SQUARE = 954.70'.
- 7) THIS PLAT DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITIES. ALL SURFACE UTILITIES WERE FIELD LOCATED. ALL UNDERGROUND UTILITIES SHOWN WERE ESTABLISHED USING ABOVE GROUND STRUCTURES AND MISS UTILITY MARKING PER TICKET #B508900914, B508900932 and B508900937. ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.

SURVEY PROVIDED ON 5/8/15 BY:

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FIRE HYDRANT FLOW DATA				
HYDRANT ID	STATIC PRESSURE (PSI)	RESIDUAL PRESSURE (PSI)	FLOW (US GPM)	CALCULATED FLOW @ 20 PSI (US GPM)
HYD-12047	77	56	1353	2320
HYD-12048	80	60	1353	2449
HYD-12049	72	52	1353	2267
HYD-12050	78	60	1278	2405



GENERAL NOTES

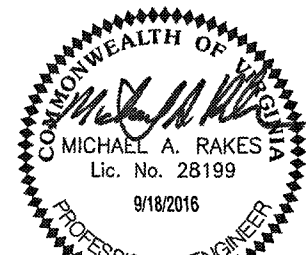
City of Roanoke
Planning, Building, & Development
COMPREHENSIVE DEVELOPMENT PLAN
APPROVED
by plkr1
06/02/2017

SPECTRUM DESIGN
architects | engineers
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CLAUDE MOORE
COMPLEX ADDITION
ROANOKE, VA

PROJECT CODE #: 935-18158

SPECTRUM DESIGN PROJECT NO. 14132



DATE: 18 SEPTEMBER 2016
DESIGN ARCHITECT: MAR
PROJECT ARCHITECT: THL
PROJECT ENGINEER: NUMBER
CHECKED BY: DATE
DRAWN BY: REVISIONS

SHEET TITLE
EXISTING CONDITIONS

C100