

PROPOSED LOT INFORMATION		
LOT No.	LOT AREA (SQ FT)	LOT FRONTAGE (FEET)
7A2-A	10,140	103.6
7A2-B	10,450	130.6
7A2-C	8,350	103.8

SANITARY SEWER MAIN LINE BEARINGS AND DISTANCES		
LINE	BEARING	DISTANCE
1 - EX-1	S 22° 5' 56" E	35.41'

MINIMUM FLOOR ELEVATION FOR GRAVITY SANITARY SEWER SERVICE			
LOT	MAIN INVERT	CO INVERT	MIN. FFE
7A2-A	1058.36	1058.74	1063.2
7A2-B	1068.08	1068.40	1071.7
7A2-C	1068.08	1068.31	1071.6

STATIC WATER PRESSURES AT METERS	
LOTS	STATIC PRESSURE
7A2-A	100 PSI
7A2-B AND 7A2-C	99 PSI

*ABOVE INFORMATION IS BASED ON AN HGL ELEVATION OF 1329 (PER WYMA GS) AND HAS NOT BEEN FIELD VERIFIED.
**ALL LOTS SHALL REQUIRE AN INDIVIDUAL PRESSURE REDUCING VALVE ON THE CUSTOMER'S SIDE OF THE METER.

UTILITIES & RIGHT-OF-WAY NOTES:

1. INDIVIDUAL PRESSURE REDUCING VALVES ARE RECOMMENDED ON THE CUSTOMER'S SIDE OF THE METER FOR ALL LOTS WITH PRESSURE OVER 80 PSI.
2. THE CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS FOR DAMAGE TO EXISTING STRUCTURES AS A RESULT OF CONSTRUCTION IN ACCORDANCE WITH VDOT, WESTERN VIRGINIA WATER AUTHORITY, AND/OR ROANOKE COUNTY STANDARDS AND SPECIFICATIONS.
3. PERPENDICULAR SAW CUT AND TACK COAT TO BE PROVIDED WHERE NEW PAVEMENT CONNECTS TO EXISTING PAVEMENT. LOCATION OF SAW CUT TO BE DETERMINED IN FIELD AND SHALL BE LOCATED AT THE TERMINATION OF THE FULL DEPTH ASPHALT SECTION FOR THE EXISTING PAVEMENT.
4. NEW 8" SANITARY SEWER PIPE MATERIAL SHALL BE PVC, SDR-35, EXCEPT AS NOTED, OR APPROVED EQUAL.
5. NEW SANITARY SEWER LATERAL PIPE MATERIAL SHALL BE PVC, SDR-26, EXCEPT AS NOTED, OR APPROVED EQUAL.
6. NEW WATER LINES SHALL BE C800 PVC DRY4, UNLESS OTHERWISE NOTED, OR APPROVED EQUAL.

WWVA NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST WWVA DESIGN AND CONSTRUCTION STANDARDS.
2. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE WESTERN VIRGINIA WATER AUTHORITY AND VDOT IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. PLEASE CONTACT MARK SINK (WWVA) AT (540) 537-3460 AND BRIAN BLEVINS (VDOT) AT (540) 387-5502.
3. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY AND VDOT.
4. FIELD CORRECTIONS SHALL BE APPROVED BY THE WESTERN VIRGINIA WATER AUTHORITY AND VDOT PRIOR TO SUCH CONSTRUCTION.
5. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" CLEARANCE VERTICALLY AND 2' MINIMUM HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER, SANITARY SEWER CROSSINGS OF ANY OTHER UTILITIES. WHERE THIS CANNOT BE ACHIEVED ADDITIONAL MEASURES IN ACCORDANCE WITH WWVA STANDARDS SHALL BE ENFORCED.
6. ANY EXISTING APPURTENANCES SHOULD BE ADJUSTED TO GRADE AND NEW FRAME AND COVERS INSTALLED WHERE REQUIRED.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EXISTING UTILITIES LOCATED AND POTHOLED TO VERIFY LOCATIONS. THIS PLAN REVIEW DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.
8. CONTRACTOR TO FURNISH AND INSTALL TAPPING SLEEVE AND VALVE, TAP TO BE MADE BY WWVA. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION AND SHORING PER OSHA REGULATIONS.
9. SANITARY SEWER TAP TO EXISTING MANHOLE TO BE MADE BY CONTRACTOR. MANHOLE CONNECTION MUST BE CORED WITH A BOOT INSTALLED.

SEWER NOTES:

1. ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.

WATER NOTES:

1. ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.
2. ALL WATER AND SANITARY SEWER FACILITIES ARE TO BE INSTALLED ACCORDING TO THE WESTERN VIRGINIA WATER AUTHORITY DESIGN AND CONSTRUCTION STANDARDS.

SITE AND ZONING TABULATIONS

CURRENT ZONING: R1
PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS
SITE ACREAGE: 0.664 ACRES (3 LOTS)
PROPOSED NUMBER OF LOTS: 3
MINIMUM LOT AREA REQUIRED: 7,200 S.F.
MINIMUM FRONTAGE REQUIRED: 60'
MINIMUM REQUIRED SETBACKS:
FRONT: 30'
REAR: 25'
SIDE YARD: 10'
MAXIMUM HEIGHT ALLOWED: 45' (PRINCIPLE STRUCTURE)
MAXIMUM BUILDING COVERAGE: 35%
MAXIMUM LOT COVERAGE: 50%

GENERAL NOTES

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY TAX ASSESSMENT MAP 077.05-01-07.00-0000
2. OWNER/DEVELOPER: MAYEAN LLC (DEVELOPER)/FRABO LLC (OWNER)
(ATTN: ALEXANDER BOONE)
3922 ELECTRIC RD., SUITE 1A
ROANOKE, VA. 24018
(540) 278-1359
3. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2018.
4. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2018.
5. A TITLE REPORT WAS NOT FURNISHED FOR THIS PROPERTY.
6. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER.
7. THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.
8. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJOINING RESIDENTIAL PROPERTIES OR RIGHT OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.
9. A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ANY EXTERIOR SIGNAGE.
10. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, THE WESTERN VIRGINIA WATER AUTHORITY AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
11. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATE PIPE SIZES, MANHOLES, OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. COUNTY ENGINEERS WILL REVIEW PLANS WITHIN ONE DAY OF SUBMITTAL. PLAN SHEETS CAN BE 8.5 x 11 IF THE INFORMATION IS LEGIBLE AND WITHIN THE LIMITS OF THE APPROVED PLANS.
12. ANY TOPOGRAPHIC CHANGES FROM THE APPROVED PLANS MAY REQUIRE ADDITIONAL DRAINAGE STRUCTURES AND EASEMENTS AS DEEMED NECESSARY BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND ROANOKE COUNTY.
13. ANY DEVIATIONS BETWEEN THE PROPOSED CONTOURS AND PLANS AND THE AS BUILT CONDITIONS MAY REQUIRE ADDITIONAL DRAINAGE STRUCTURES AND EASEMENTS.
14. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILTED OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.

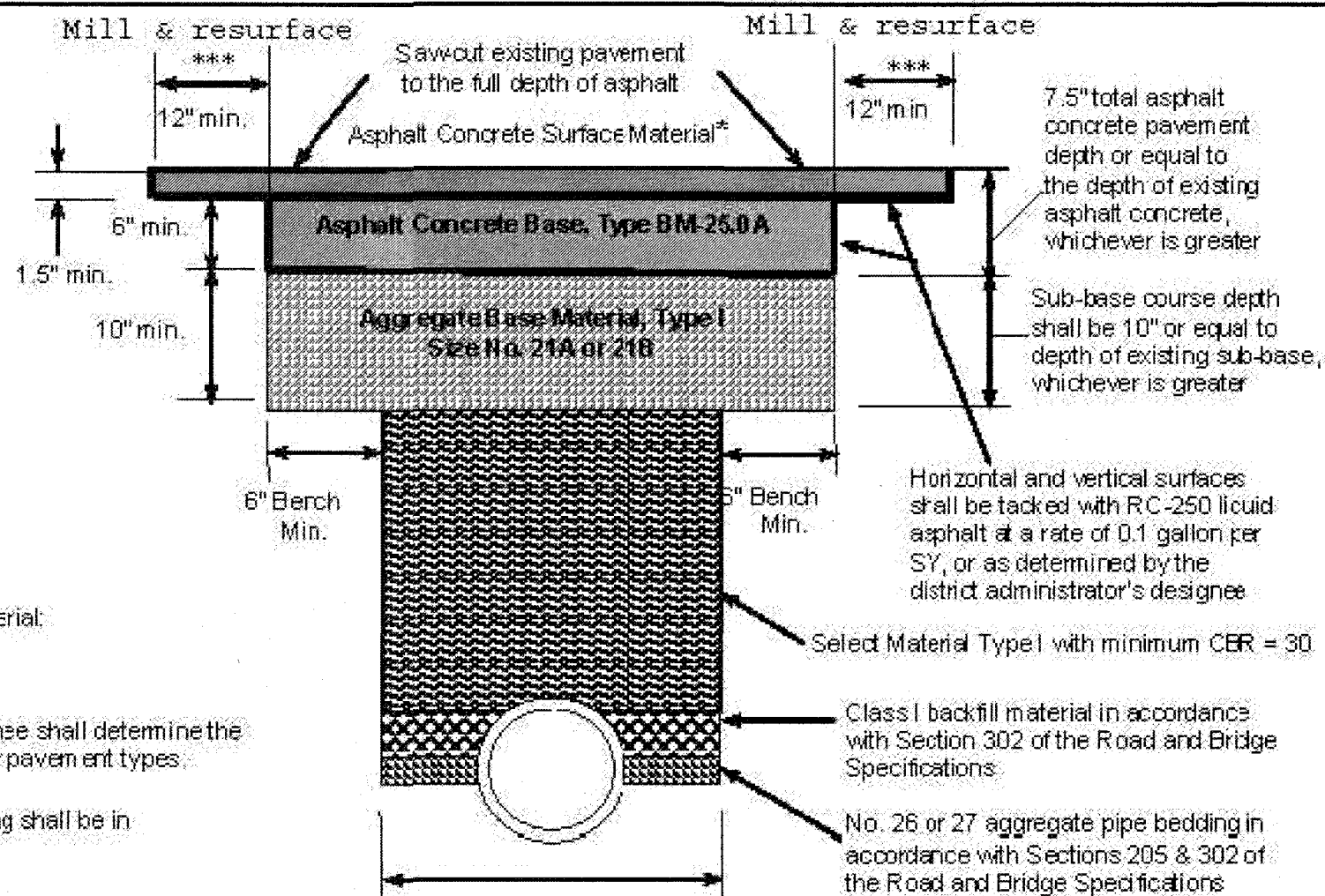
CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.
7. ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ON-SITE.
8. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
9. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

GRADING NOTES

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THEN 6 INCHES IN DIAMETER. THE EXISTING SURFACE SHALL BE SCARIFIED PRIOR TO PLACING FILL.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, PC.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHALL BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. FIELD DENSITY TESTS SHALL BE PERFORMED AND RESULTS FORWARDED TO ROANOKE COUNTY. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

Asphalt Pavement Restoration Detail for Open Cut Utility Installations



NOTES:

* Asphalt Concrete Surface Material:
SM-9.5A for ADT ≤ 10,000
SM-9.5D for ADT > 10,000

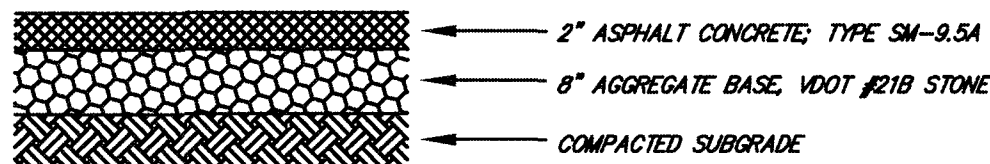
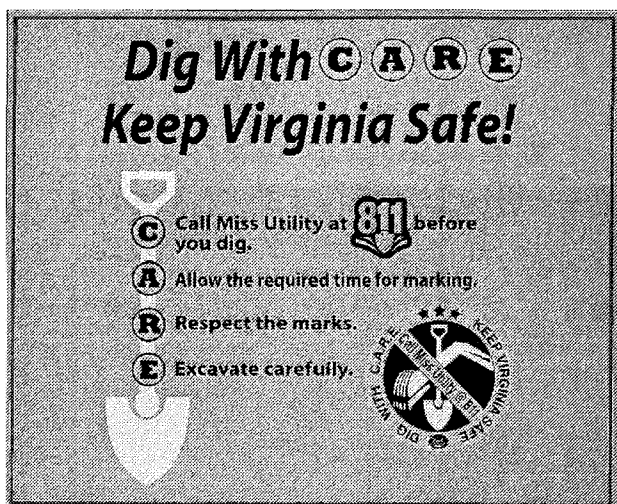
The district administrator's designee shall determine the restoration requirements for other pavement types.

** Trench width and pipe bedding shall be in accordance with VDOT Std. PB-1

*** 12 inches minimum beyond the edge of the trench on longitudinal open cuts, or 25 feet minimum beyond the trench centerline on perpendicular open cuts, or as determined by the district administrator's designee.

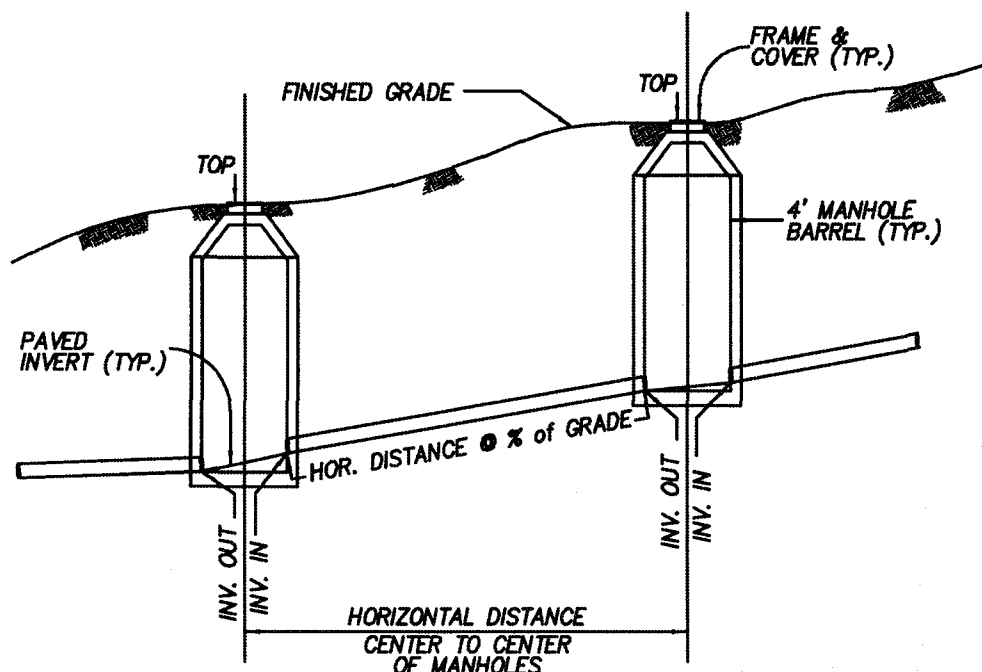
Date: August 27, 2014

*DETAIL PROVIDED FOR REFERENCE ONLY. CLEARVIEW DRIVE WATERLINE CROSSING IS BY DIRECTIONAL DRILLING METHODS.



* NOTES: 1. MATCH EXST. PAVEMENT SECTION IF GREATER THAN SHOWN ABOVE.
2. SEE UTILITIES & RIGHT-OF-WAY NOTE 3, THIS SHEET.

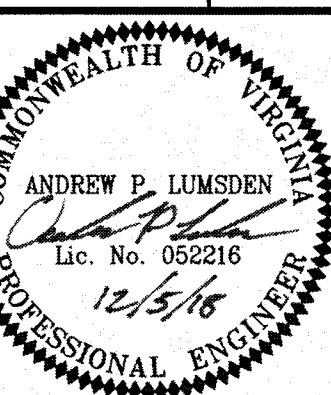
DRIVEWAY REPLACEMENT DETAIL



SANITARY SEWER HORIZONTAL AND SLOPE DISTANCE DETAIL

NO SCALE

Lumsden Associates, P.C.
ENGINEERS | SURVEYORS | PLANNERS



NOTES & DETAILS

DEVELOPMENT PLAN FOR
CLEARVIEW HEIGHTS DEVELOPMENT
PREPARED FOR
MAYEAN, LLC
WINDSOR HILLS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

REVISIONS		DATE	DESCRIPTION
NO.	DATE	DESCRIPTION	
1			
2			
3			
4			
5			

DATE: December 5, 2018
SCALE: NONE
COMMISSION NO: 18-171
SHEET 2 OF 8