

LEGEND:

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	2 FOOT CONTOUR
	10 FOOT CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING EASEMENT
	EXISTING CURB & GUTTER
	EXISTING EDGE OF PAVEMENT
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING SIDEWALK
	EXISTING GRAVEL
	EXISTING GAS LINE
	EXISTING PHONE LINE
	PROPOSED WATERLINE (FROM PLANS)
	EXISTING WATERLINE (FROM MISS UTILITY MARKINGS)
	EXISTING SIGN
	PROPERTY CORNER
	LIGHT POLE
	WATER VALVE
	FIRE HYDRANT
	MANHOLE
	GUY WIRE
	SEWER CLEANOUT
	TELEPHONE PEDESTAL

NOTES:

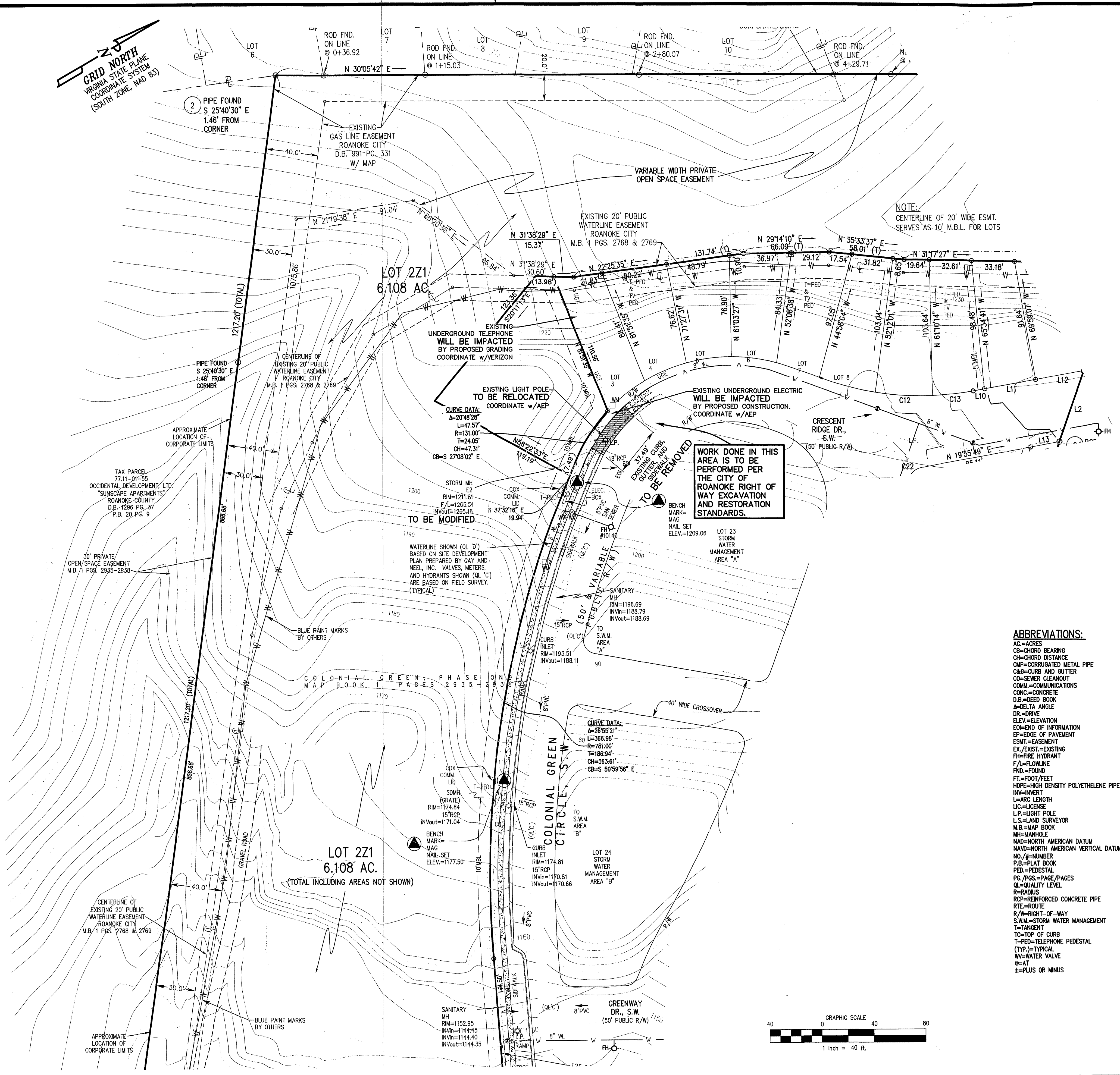
- CURRENT OWNERS: COLONIAL GREEN, L.C.
LEGAL REFERENCES: INSTRUMENT NO. 05000898
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE MAY NOT INDICATE ALL ENCUMBRANCES AND EASEMENTS THAT MAY AFFECT THE SUBJECT PROPERTY.
- THE TOPOGRAPHY, AS DEPICTED HEREON, IS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED BY GAY AND NEEL, INC.
- THIS TOPOGRAPHIC SURVEY OF A PORTION OF LOT 2, COLONIAL GREEN, PHASE I, WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF RALPH O. CLEMENTS, L.S. #1864, FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON 01/15/10, AND THAT THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA USING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
- ELEVATIONS AS SHOWN HEREON, ARE BASED ON NAVD 88 VERTICAL DATUM. HORIZONTAL DATUM, AS SHOWN HEREON IS BASED ON THE VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83.
- CONTOUR INTERVAL=2 FT.
- PROPERTY LINES, AS SHOWN HEREON, ARE FOR INFORMATIONAL PURPOSES ONLY. NO BOUNDARY SURVEY HAS BEEN PERFORMED AS A PART OF THIS PROJECT.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A F.E.M.A. DESIGNATED 100-YEAR FLOOD HAZARD ZONE. A PORTION OF THE SUBJECT PROPERTY LIES IN "ZONE X - OTHER FLOOD AREAS", AS DEFINED BY F.E.M.A. & AS SHOWN ON F.I.R.M. MAP NO. 5110100201G, EFFECTIVE DATE OF SEPTEMBER 28, 2007. THIS DETERMINATION HAS BEEN MADE BY GRAPHIC METHODS ONLY. NO ELEVATION STUDY HAS BEEN PERFORMED AS A PART OF THIS PROJECT.
- SUBJECT PROPERTY IS SERVED BY PUBLIC WATER, SEWER AND PUBLIC STREETS.
- LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE APPROXIMATE, BASED ON AVAILABLE SURFACE STRUCTURES, SUCH AS VALVES, MANHOLES, ETC. AND RECORD INFORMATION. SURVEYOR DOES NOT WARRANT EXISTENCE OF, OR LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES.
- 48 HOURS PRIOR TO ANY EXCAVATION BEING CONDUCTED AS A PART OF THIS PROJECT, "MISS UTILITY" MUST BE NOTIFIED BY PHONE AT 1-800-552-7001, OR BY DIALING 811 IN VIRGINIA.
- INVERT ELEVATIONS, AS SHOWN HEREON, ARE LISTED IN A CLOCKWISE DIRECTION FROM THE OUTLET PIPE.
- DEFINITIONS PERTAINING TO COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA AS PROVIDED BY THE O/ASCE 38-02 (CONSTRUCTION INSTITUTE OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS).

UTILITY QUALITY LEVEL "A": PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE (OR VERIFICATION OF PREVIOUSLY EXPOSED AND SURVEYED UTILITIES) AND SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES, USUALLY AT A SPECIFIC POINT. MINIMALLY INTRUSIVE EXCAVATION EQUIPMENT IS TYPICALLY USED TO MINIMIZE THE POTENTIAL FOR UTILITY DAMAGE. A PRECISE HORIZONTAL AND VERTICAL LOCATION, AS WELL AS OTHER UTILITY ATTRIBUTES, IS SHOWN ON THE PLAN DOCUMENTS. ACCURACY IS TYPICALLY SET TO 15-mm VERTICAL AND TO APPLICABLE HORIZONTAL SURVEY AND MAPPING ACCURACY AS DEFINED OR EXPECTED BY THE PROJECT OWNER.

UTILITY QUALITY LEVEL "B": INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. QUALITY LEVEL "B" DATA SHOULD BE REPRODUCIBLE BY SURFACE GEOPHYSICS AT ANY POINT OF THEIR DEPICTION. THIS INFORMATION IS SURVEYED TO APPLICABLE TOLERANCES DEFINED BY THE PROJECT AND REPRODUCED ONTO PLAN DOCUMENTS.

UTILITY QUALITY LEVEL "C": INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL "D" INFORMATION.

UTILITY QUALITY LEVEL "D": INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.



ABBREVIATIONS:

AC	=ACRES
CB	=CHORD BEARING
CD	=CHORD DISTANCE
CMP	=CORRUGATED METAL PIPE
C&G	=CURB AND GUTTER
CO	=SEWER CLEANOUT
COM	=COMMUNICATIONS
CONC	=CONCRETE
D.B.	=DEED BOOK
Δ	=DELTA ANGLE
DR	=DRAIN
ELEV	=ELEVATION
EOL	=END OF INFORMATION
EP	=EDGE OF PAVEMENT
ESMT	=EASEMENT
EX	=EXIST-EXISTING
FH	=FIRE HYDRANT
F/L	=FLOWLINE
FND	=FOUND
FT	=FOOT/FEET
HDP	=HIGH DENSITY POLYETHYLENE PIPE
INV	=INVERT
L	=ARC LENGTH
LIC	=LICENSE
LP	=LIGHT POLE
LS	=LAND SURVEYOR
M.B.	=MAP BOOK
MH	=MANHOLE
NAD	=NORTH AMERICAN DATUM
NAVD	=NORTH AMERICAN VERTICAL DATUM
NO./#	=NUMBER
P.B.	=PLAT BOOK
PE	=PEDESTAL
PG./PSS	=PAGE/PAGES
QL	=QUALITY LEVEL
R	=RADIUS
RC	=REINFORCED CONCRETE PIPE
RTE	=ROUTE
R/W	=RIGHT-OF-WAY
S.W.M.	=STORM WATER MANAGEMENT
T	=TANGENT
TC	=TOP OF CURB
T-PED	=TELEPHONE PEDESTAL
TV	=TYPICAL
WV	=WATER VALVE
±	=PLUS OR MINUS

GAY AND NEEL, INC.

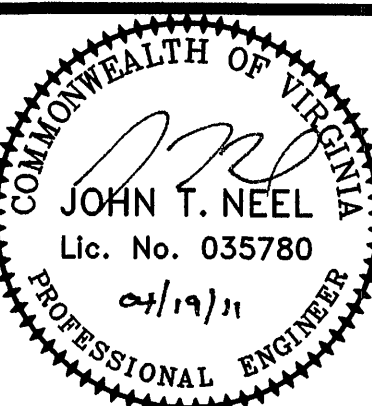


CIVIL ENGINEERING
LANDSCAPE ARCHITECTURE
SURVEYING

1280 Radford Street
Christiansburg, Virginia 24073
Phone: (540) 381-6011 Fax: (540) 381-2773
Email: info@gayandneel.com

Existing Conditions and
Demolition Plan

Colonial Green
Phase I, Lot 2A1
Comprehensive
Site Plan
City of Roanoke, Virginia



REVISED:

APPROVED
MAY 02 2011

DESIGNED/CALC.: MTJ
CHECKED: JTN
DRAWN: LHS
SCALE: 1"=40'
DATE: 04/12/11

JOB NO. 2160.0

SHEET 3 OF 9