

COLONIAL GREEN MEDICAL

3501 COLONIAL GREEN CIRCLE SW SHEET INDEX

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WESTERN VIRGINIA WATER AUTHORITY NOTES:

AVAILABILITY No.: 17-382

GENERAL NOTES:

A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE WESTERN VIRGINIA WATER AUTHORITY TO BE HELD AT LEAST ONE (1) DAY PRIOR TO ANY CONSTRUCTION OF THE APPROVED WATER AND SANITARY SEWER FACILITIES.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED OVER PROPOSED LINES.

ALL SANITARY SEWER AND WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS, MANHOLES, ETC. AFTER PAVING AND ADJUSTING TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL COMPLY WITH THE STATE WATER WORKS REGULATIONS, SECTION 12.05.03, WHERE LINES CROSS.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT-OF-WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS.

LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL REFER TO THE WESTERN VIRGINIA WATER AUTHORITY STANDARD WATER AND SEWER REGULATIONS FOR CONSTRUCTION DETAILS AND INSTALLATION METHODS AS REQUIRED TO COMPLETE THE PROPOSED UTILITY FACILITIES AS INDICATED BY THESE DRAWINGS.

FIELD CORRECTIONS SHALL BE APPROVED BY THE WWA ENGINEERING DIVISION PRIOR TO SUCH CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS PRIOR TO SUBSTANTIAL COMPLETION OF ANY NEW PUBLIC EXTENSIONS.

WATER NOTES:

WATER MAINS SHALL BE MINIMUM CLASS 350 DUCTILE IRON IN ACCORDANCE TO AWWA C151 OR DR-14 PVC IN ACCORDANCE WITH AWWA C-900.

WATER LATERALS FROM THE METER TO THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC WATER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

SEWER NOTES:

COMMERCIAL SANITARY SEWER LATERAL SHALL BE MINIMUM 6" PIPE INSTALLED AT SLOPES AS SHOWN ON THE PLAN.

THE LATERALS AND REQUIRED FITTINGS LOCATED WITHIN A PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT SHALL BE OF THE SAME TYPE OF MATERIAL AS THE MAINLINE SEWER PIPE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC SEWER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

ALL SANITARY SEWER PIPING SHALL BE PVC (POLYVINYL CHLORIDE) MANUFACTURED IN ACCORDANCE WITH ASTM DESIGNATION 3034-77 (SDR 35) UNLESS OTHERWISE NOTED ON THE PLANS/PROFILES.

ALL MANHOLE FRAMES AND COVERS SHALL BE WATERTIGHT AND ALL COVERS SHALL BE BOLT-DOWN MANHOLE COVERS (SEE DETAIL S-05 AND S-06) WHERE APPLICABLE.

CITY OF ROANOKE & UTILITY CONTACTS:

CITY OF ROANOKE DEVELOPMENT REVIEW COORDINATOR - GEORGE NEVERGOLD (540) 853-6501

ROANOKE GAS COMPANY - ED PAINTER (540) 777-3801

VERIZON - STEVEN CRONEMEYER (540) 563-2261

AMERICAN ELECTRIC POWER - KEITH FREEMAN (540) 427-3643

WESTERN VIRGINIA WATER AUTHORITY - MITCH EAKIN (540) 283-2996

FUTURE DEVELOPMENT NOTE:

STORMWATER MANAGEMENT (QUANTITY ONLY) IS BEING PROVIDED FOR THE CURRENT AND FUTURE DEVELOPMENT ON-SITE WITH THE UNDERGROUND S.W.M. FACILITY AND THIS INFORMATION HAS BEEN PROVIDED WITH THE CURRENT STORMWATER CALCULATIONS. STORMWATER QUALITY REQUIREMENTS ARE BEING MET FOR THE CURRENT IMPROVEMENTS ONLY BY THE PURCHASE OF OFF-SITE NUTRIENT CREDITS. FUTURE DEVELOPMENT PHASES WILL NEED TO MEET STORMWATER QUALITY REQUIREMENTS AT THE TIME OF FUTURE DEVELOPMENT.

SITE & ZONING SUMMARY:

OWNER: COLONIAL GREEN LC
P.O. BOX 10298
BLACKSBURG, VA 24062

DEVELOPER:
COLONIAL GREEN ASSOCIATES, LLC
2404 ELECTRIC ROAD
ROANOKE, VA 24016

TAX MAP NUMBER: 1570101

EXISTING LOT SIZE: 2.466 AC.

PROPOSED USE: MEDICAL OFFICE

ZONING: MX-PUD (C) - MIXED USE PLANNED UNIT DEVELOPMENT
W/CONDITIONS

ORDINANCE NO. 38039-031708

CONDITIONS:

1. THE DEVELOPMENT OF SUBJECT PROPERTY SHALL BE GOVERNED BY THE DEVELOPMENT PATTERN BOOK, COLONIAL GREEN, DATED JANUARY 17, 2008.

2. A MINIMUM TREE CANOPY RATIO OF 15% OF THE TOTAL RPUD DISTRICT WILL BE PROVIDED AT THE COMPLETION OF THE PROJECT TO BE COMPRISED OF EXISTING TREE CANOPY PRESERVED ON THE SITE AND NEW TREE PLANTINGS (BASED ON CANOPY AT 20 YEAR MATURITY).

AMENDMENT OF RPUD DEVELOPMENT PLAN:

COLONIAL GREEN COMMERCIAL AND OFFICE DEVELOPMENT PLAN, PREPARED BY BALZER AND ASSOCIATES, INC. DATED JANUARY 17, 2008, ONLY AS IT PERTAINS TO LOT 1, COLONIAL GREEN SUBDIVISION PHASE 1, CONTAINING APPROXIMATELY 2.466 ACRES, AND IDENTIFIED BY OFFICIAL TAX NO. 1570101.

MX-PUD DEVELOPMENT REGULATIONS:

MINIMUM LOT SIZE OF DISTRICT: NONE

MINIMUM LOT AREA: 10,000 S.F.

LOT AREA PROVIDED: 2.466 AC.

MINIMUM LOT FRONTAGE: NONE

LOT FRONTAGE PROVIDED: EXISTING LOT

SETBACKS:

FRONT YARD SETBACK: 10' MIN. FROM COLONIAL GREEN CIRCLE

SIDE SETBACK: 10' MIN.

REAR YARD SETBACK: NONE

MAXIMUM BUILDING HEIGHT: 60'

BUILDING HEIGHT PROVIDED: 35' - 2 STORY

IMPERVIOUS SURFACE RATIO MAXIMUM: 50% (NOT INCLUDING PARKING & DRIVEWAYS)

IMPERVIOUS SURFACE RATIO PROVIDED: 13% FOR PHASE 1

IMPERVIOUS SURFACE RATIO PROVIDED: 25% FOR FULL BUILD OUT

MINIMUM BUILDING TRANSPARENCY REQUIREMENTS:
(FOR BUILDING FACADE FACING COLONIAL GREEN CIRCLE/COLONIAL AVENUE)

GROUND FLOOR: 30%
UPPER FLOORS: 20%

MINIMUM TREE CANOPY REQUIRED: 15%

TREE CANOPY PROVIDED: 16%

PARKING SUMMARY:

1 SPACE PER 300 SF OF NET FLOOR AREA - 40 SPACES REQUIRED (PHASE 1)
16,000 S.F. (G.F.A.)

95 SPACES PROVIDED FOR CURRENT PHASE AND FUTURE PHASES OF DEVELOPMENT

HANDICAPPED PARKING SPACES
REQUIRED: 4 SPACES
PROVIDED: 7 SPACES

LOADING SPACES
REQUIRED: 1 SPACE
PROVIDED: 1 SPACE

ENGINEERS NOTES:

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY PERFORMED BY BALZER AND ASSOCIATES, INC., DATED DECEMBER 2017.



COMPREHENSIVE
SITE PLAN #:
CP18-0016

| | |
|---|--|
| City of Roanoke Planning, Building, & Development | |
| COMPREHENSIVE DEVELOPMENT PLAN | |
| APPROVED | |
| Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction. | |
| Agent, Planning Commission | Digitally signed by Ian D. Shaw Date: 2018.08.21 09:53:45-0400 |
| Development Engineer | 2018.08.17 11:21:00-0400 |
| Zoning Administrator | 2018.08.17 11:21:00-0400 |

CITY OF ROANOKE APPROVAL BLOCK



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Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
SITE DEVELOPMENT ENGINEERING
LAND USE PLANNING & ZONING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ARCHITECTURE
STRUCTURAL ENGINEERING
TRANSPORTATION ENGINEERING
ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

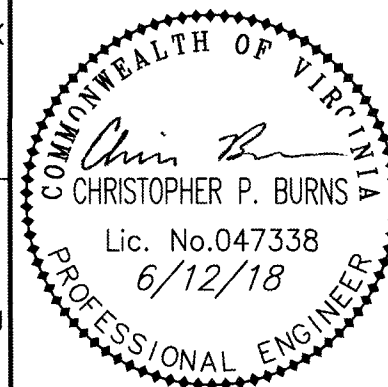
Balzer and Associates, Inc.

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Roanoke, VA 24018

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COLONIAL GREEN MEDICAL
3501 COLONIAL GREEN CIRCLE, SW

COVER SHEET

CITY OF ROANOKE, VIRGINIA

DRAWN BY BTC

DESIGNED BY BTC

CHECKED BY CPB

DATE 4/13/2018

SCALE N/A

REVISIONS:
5/18/2018
6/12/2018

SHEET NO.

C1

JOB NO. 03170145.00