

GENERAL DEMOLITION NOTES:

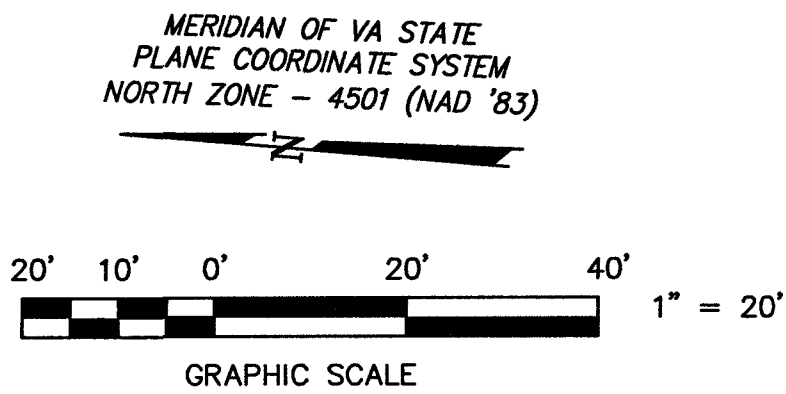
- 1) THE CONTRACTOR SHALL PROVIDE AT LEAST THE FOLLOWING PROTECTIONS AT THE JOB SITE: MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF AUTHORITIES OF UTILITIES MENTIONED, SUCH AS OVERHEAD AND UNDERGROUND ELECTRIC, TELEPHONE, GAS, WATER, ETC.
- 2) ENSURE SAFE PASSAGE OF PERSONS AROUND ALL AREAS OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, OR INJURY TO PERSONS.
- 3) PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COSTS TO THE OWNER(S).
- 4) MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. PREVENT INTERRUPTION OF SERVICES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- 5) USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT POLLUTION TO THE LOWEST PRACTICAL LEVEL.
- 6) COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 7) RETURN ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF WORK.
- 8) PERMITS, FEES, AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR, INCLUDING DISPOSAL CHARGES AS REQUIRED.
- 9) ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES IN DEMOLITION OF EXISTING PAVEMENT, CONCRETE, CURB, AND OTHER STRUCTURES AS MAY BE REQUIRED.
- 10) THE SITE SHALL BE CLEARED AND SELECTED ITEMS REMOVED AS SHOWN WITHIN THE LIMITS OF DISTURBANCE. ALL DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL SAW-CUT CURB, PAVEMENT, ETC. AT ALL PLACES WHERE NEW CONSTRUCTION JOINS THE EXISTING.

SITE SPECIFIC DEMOLITION NOTES:

- DN-1** CONTRACTOR SHALL REMOVE ALL TREES/VEGETATION WITHIN THE LIMITS OF DISTURBANCE.
- DN-2** CONTRACTOR SHALL PROTECT EXISTING UNDERGROUND ELECTRIC LINES, UTILITY POLES, OVERHEAD WIRES, AND OTHER UTILITY LINES TO REMAIN.
- DN-3** CONTRACTOR SHALL PROTECT EXISTING WATERLINE TO REMAIN.

GENERAL NOTES:

1. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THEREFORE THERE MAY BE ENCUMBRANCES NOT SHOWN HEREON.
2. THE SUBJECT PROPERTY IS WITHIN THE LIMITS OF ZONE "X" AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAPS 51161C0154C EFFECTIVE DATE SEPTEMBER 28, 2007. THIS DETERMINATION IS BASED ON SAID MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS.
3. THE PLAN WAS PREPARED FROM A PARTIAL FIELD SURVEY BY PARKER DESIGN GROUP. THIS PARTIAL TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF ALAN CLEMONS, FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED IN JUNE 13, 2016, AND THAT THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS THE MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
4. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS BASED UPON FIELD SURVEY, AVAILABLE RECORDS, OR AS LOCATED BY A UTILITY MARKING COMPANY AND SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE UTILITIES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON. CONTRACTOR SHALL CALL "MISS UTILITY" TO VERIFY LOCATION OF ANY UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION.
5. ELEVATIONS SHOWN ARE ON NAVD '88 DATUM. CONTOURS SHOWN ARE AT 2.0' INTERVALS.



SITE STATISTICS:

Tax Number:	027.18-06-02, -03, -04, -05
Parcel Area:	0.471ac - Lot 2 0.438ac - Lot 3 0.367ac - Lot 4 + 0.391ac - Lot 5 1.667 Acres (After combination of lots)
Zoned:	C-2, High Intensity Commercial District
Existing Use:	Vacant
Proposed Use:	Retail Sales
Lot Statistics:	Minimum Frontage Required = 75 ft. Existing Coverage = 0.00 Acres = 0.0% Proposed Impervious Coverage = 0.71 Acres = 42.6% Proposed Crown Coverage = 0.61 Acres = 36.5% (See Sheet C14) Proposed Height = 18.0' Proposed Building Coverage = 0.21 Acres = 12.5% Required = 1 space per 300 net sq. ft. Gross Floor Area = 9100 sq. ft. Net Floor Area = 6825 sq. ft. Total Parking Required = 23 spaces, 1 handicapped space Proposed = 30 including 2 handicap spaces
Building Statistics:	
Parking Spaces:	
Building Setbacks:	Front: 30' Side: None Rear: Principal - 15', Accessory - 3' Buffer: 30' Rear (Type C, per Section 30-92-6 of the Roanoke County Zoning Ordinance)
Water: WVWA	
Sewer: WVWA	

INITIAL EROSION AND SEDIMENT CONTROL MEASURES/CONSTRUCTION SEQUENCE:

- CONSTRUCTION SHALL BE SEQUENCED TO INSTALL INITIAL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO DEMOLITION & GRADING.
- CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE AS SHOWN ON PLANS. CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCE PER VA ESCH STD. & SPEC 3.02.
 - CONTRACTOR SHALL INSTALL SILT FENCE AND DIVERSION DIKS ALONG PERIMETER AS SHOWN ON PLANS.
 - CONTRACTOR SHALL INSTALL TEMPORARY SLOPE DRAIN (WITH OUTLET PROTECTION) ALONG SOUTHERN PROPERTY LINE AS SHOWN ON PLANS.
 - CONTRACTOR SHALL INSTALL STORM STRUCTURE WITH BAFFLE WALL (DETAIL ON SHEET C10) AND 24" HDPE AS SHOWN ON PLAN (INCLUDING END-SECTION AND OUTLET PROTECTION AS DIMENSIONED ON C06).
 - AFTER THE INITIAL MEASURES ARE INSTALLED, THE CONTRACTOR SHALL REVIEW GENERAL CONSTRUCTION SEQUENCE AND EROSION CONTROL MEASURES.
 - AFTER DEMOLITION IS COMPLETE, TOPSOIL STOCKPILING MAY OCCUR IN THE GENERAL LOCATION AS SHOWN ON THE PLAN OR OTHER SUITABLE LOCATIONS DETERMINED BY THE CONTRACTOR. SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE STOCKPILE. TEMPORARY SEEDING MEASURES APPLY TO STOCKPILES.

EROSION AND SEDIMENT CONTROL MEASURES:

PROVIDE THE FOLLOWING:

- (CE) CONSTRUCTION ENTRANCE MEETING VA ESCH STD. & SPEC. 3.02
- (SF) SILT FENCE MEETING VA ESCH STD. & SPEC. 3.05
- (IP) INLET PROTECTION MEETING VA ESCH STD. & SPEC. 3.08
- (DD) TEMPORARY DIVERSION DIKE MEETING VA ESCH STD. & SPEC. 3.09
- (TSD) TEMPORARY SLOPE DRAIN MEETING VA ESCH STD. & SPEC. 3.15
- (TO) TOPSOILING MEETING VA ESCH STD. & SPEC. 3.30
- (TS) TEMPORARY SEEDING MEETING VA ESCH STD. & SPEC. 3.31
- (TP) TREE PROTECTION MEETING VA ESCH STD. & SPEC. 3.38
- (DC) DUST CONTROL MEETING VA ESCH STD. & SPEC. 3.39

OP1
OUTLET PROTECTION
Q10: 2.5 CFS
3Do: 6"; La: 13';
W: 19"; T: 1.5'
CONTRACTOR TO
INSTALL 18.3 TONS OF
CLASS A1 RIPRAP

OP3
OUTLET PROTECTION
Q10: 3.6 CFS
3Do: 4.5"; La: 9';
W: 13.5"; T: 1.5'
CONTRACTOR TO
INSTALL 9 TONS OF
CLASS A1 RIPRAP

BENCHMARK =
TOP OF NAIL
ELEVATION = 1040.16

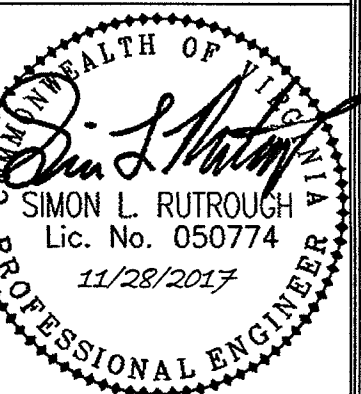
BENCHMARK =
TOP OF NAIL
ELEVATION = 1039.37

REVISIONS:

2/8	Addressed County Comments
3/8	Addressed Comments
4/14	Field Revision #1
5/30	Field Revision #2
9/18	Field Revision #3
10/31	Field Revision #4
11/06	Field Revision #5
11/28	Field Revision #6

parker
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COMMERCIAL RETAIL STORE
ROANOKE COUNTY
WILLIAMSON ROAD
ROANOKE COUNTY, VIRGINIA



DATE: 10-31-2017
DRAWING TITLE: EXISTING COND. DEMO. & INITIAL ESC PLAN
SCALE: 1"=20'
SHEET NO.

C02