

GENERAL UTILITY NOTES:

1. THE LOCATION, DEPTH, AND ALIGNMENT OF EXISTING UNDERGROUND UTILITIES IS BASED UPON FIELD SURVEY, AVAILABLE RECORDS, OR AS LOCATED BY A UTILITY MARKING COMPANY AND SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE UTILITIES WHICH AFFECT THE PROPERTY NOT SHOWN HEREON. CONTRACTOR SHALL CALL "MISS UTILITY" TO VERIFY LOCATION OF ANY UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION.
2. CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO COUNTY STANDARDS.
3. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND INVERTS OF ALL EXISTING MANHOLES, GAS LINES, AND OTHER UTILITY LINES PRIOR TO THE START OF CONSTRUCTION.
4. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR SERVICE LINES.
5. CONTRACTOR SHALL USE CAUTION DURING CONSTRUCTION TO NOT DISTURB EXISTING UTILITIES TO REMAIN.
6. ALL NEW UTILITIES TO BE INSTALLED UNDERGROUND. CONTRACTOR SHALL VERIFY LOCATIONS OF UTILITY ENTRANCE/EXITS TO BUILDING WITH ARCHITECTURAL PLANS. ROOF MOUNTED EQUIPMENT IS TO BE SCREENED BY BUILDING DESIGN.
7. ALL EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE INTENSITY AT ADJOINING STREETS OR RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
8. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE AREAS IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS PER SECTION 30-92-5 AND AS SHOWN IN THE ROANOKE COUNTY DESIGN HANDBOOK. HEIGHT OF SCREENING MUST BE A MINIMUM OF SIX (6) FEET.
9. GROUND LEVEL AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED PER SECTION 30-92-5 AND AS SHOWN IN THE ROANOKE COUNTY DESIGN HANDBOOK.

WATERLINE NOTES:

- WL#1: CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING WATERLINE PRIOR TO CONSTRUCTION.
- WL#2: MAINTAIN MINIMUM 3.0' COVER ON WATER LINE.
- SANITARY SEWER NOTES:**
- SS#1: CONTRACTOR SHALL CONFIRM SANITARY SEWER EXIT FROM BUILDING PRIOR TO CONSTRUCTION.
- SS#2: MAINTAIN MINIMUM 3.0' COVER ON SEWER LINE.

ELECTRIC NOTES:

1. CONTRACTOR SHALL CONSULT WITH ELECTRICAL ENGINEER TO CONFIRM ELECTRICAL REQUIREMENTS.
2. ALL NEW ELECTRICAL LINE TO BE INSTALLED UNDERGROUND.
3. PLAN SHOWS GENERAL LOCATION OF NEW UNDERGROUND ELECTRIC.

SITE UTILITIES LEGEND

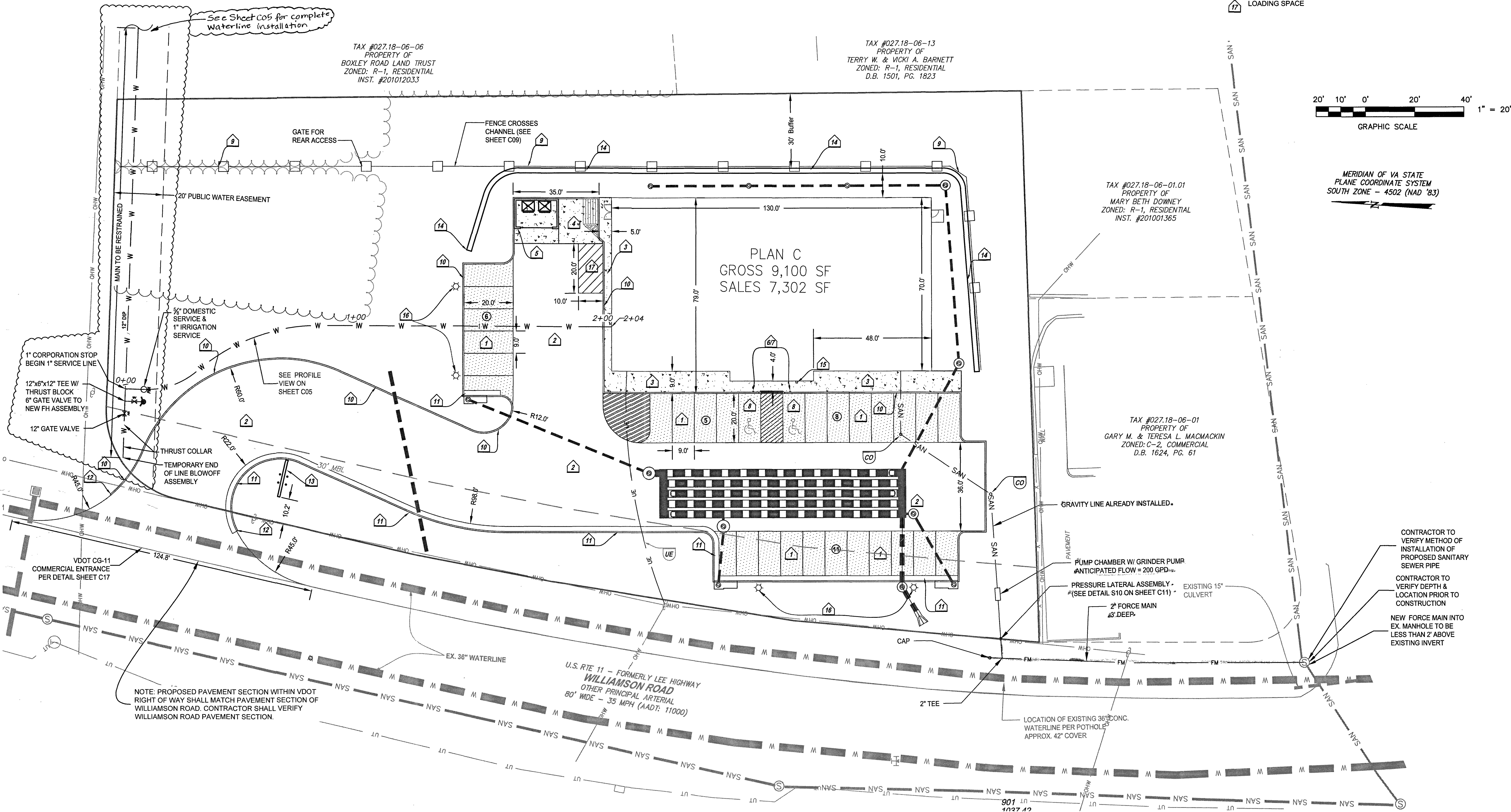
- CO PROPOSED SANITARY SEWER CLEANOUT.
- WL PROPOSED WATER LINE (12" DUCTILE IRON, 1" CTS).
- FH PROPOSED FIRE HYDRANT.
- WM PROPOSED WATER METER.
- WV PROPOSED WATER VALVE.
- UE PROPOSED UNDERGROUND ELECTRIC.

SITE LAYOUT LEGEND

SEE SITE DETAILS

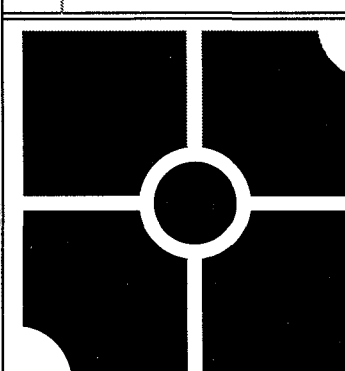
- 1 \*STANDARD PAVEMENT.
- 2 \*HEAVY DUTY PAVEMENT (TO BE UTILIZED UNLESS OTHERWISE NOTED).
- 3 CONCRETE SIDEWALK.
- 4 HEAVY DUTY CONCRETE.
- 5 12' x 18' DUMPSTER ENCLOSURE.
- 6 BOLLARD.
- 7 ADA ACCESSIBLE SIGN (VAN AS NOTED).
- 8 ADA PARKING.
- 9 PROPOSED PRIVACY FENCE.
- 10 VDOT CG-2 CURB.
- 11 VDOT CG-6 CURB AND GUTTER.
- 12 CURB TAPER.
- 13 SIGN (PERMITTED SEPARATELY). SEE ARCHITECTURAL PLANS.
- 14 SEGMENTAL BLOCK RETAINING WALL (DESIGNED BY OTHERS).
- 15 "KNOX" KEY LOCK BOX.
- 16 PARKING LOT STREET LIGHT.
- 17 LOADING SPACE.

FIELD REVISION #2 AS OUTLINED (5/30/17):  
1. REVISED WALL DESIGN BEHIND BUILDING.  
FIELD REVISION #3 AS OUTLINED (9/18/17):  
1. REVISED WALL DESIGN BEHIND BUILDING.  
FIELD REVISION #4 AS OUTLINED (10/31/17):  
1. REVISED FORCE MAIN WITH ADDITION OF CAP, TEE, AND LATERAL PRESSURE ASSEMBLY.  
FIELD REVISION #5 AS OUTLINED (11/06/17):  
1. REVISED ENTRANCE LOCATION AND CULVERT 21.  
FIELD REVISION #6 AS OUTLINED (11/28/17):  
2. REVISED WATERLINE.



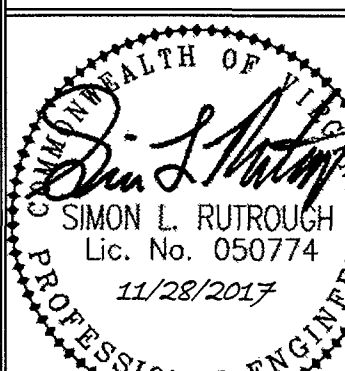
REVISIONS:

2/8	Addressed County Comments
3/8	Addressed Comments
4/14	Field Revision #1
5/30	Field Revision #2
9/18	Field Revision #3
10/31	Field Revision #4
11/06	Field Revision #5
11/28	Field Revision #6



**parker**  
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COMMERCIAL RETAIL STORE  
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WILLIAMSON ROAD  
ROANOKE COUNTY, VIRGINIA



DATE: 10-31-2017  
DRAWING TITLE: SITE LAYOUT, DIMENSIONAL, & UTILITY PLAN  
SCALE: 1"=20'  
SHEET NO. C03